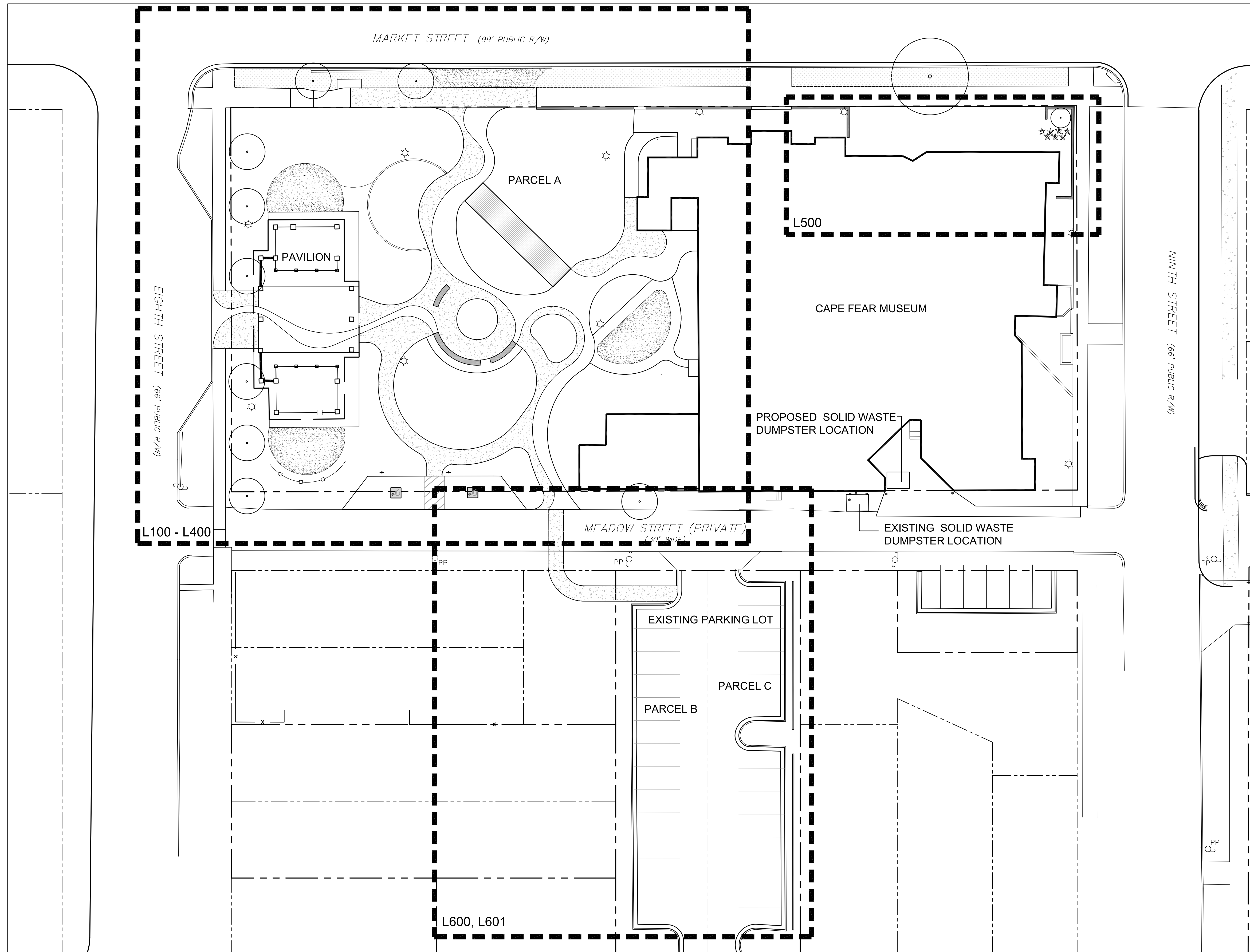


Cape Fear Museum / Outdoor Learning Environment

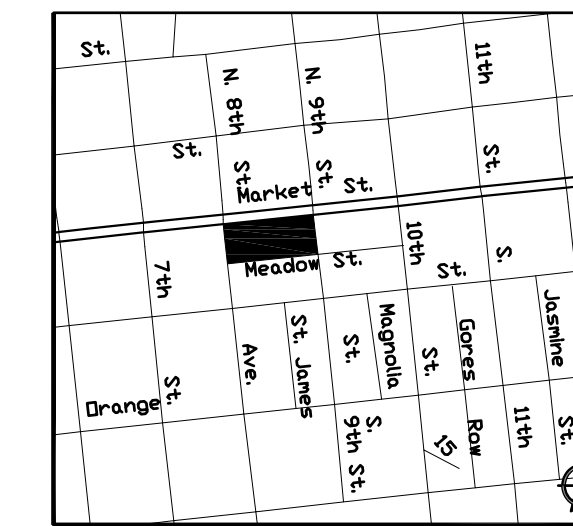
TRC SUBMITTAL / DESIGN DEVELOPMENT

NEW HANOVER COUNTY
814 MARKET STREET, WILMINGTON, NC 28401

DECEMBER 12, 2014



VICINITY MAP



NOT TO SCALE

DRAWING INDEX:

- S100 SURVEY
- G100 GENERAL NOTES
- L100 DEMOLITION PLAN
- L200 LAYOUT PLAN
- L201 RIVER PAVING LAYOUT PLAN
- L300 GRADING / EROSION CONTROL PLAN
- L400 PLANTING PLAN
- L500 MARKET STREET FACADE
- L600 ADJACENT PARKING LOT DEMOLITION
- L601 ADJACENT PARKING LOT LAYOUT
- D100 DETAILS
- D101 DETAILS
- D102 DETAILS

SITE DATA:

Property Owner: New Hanover County
Parcel Address: 814 Market Street
Developer: New Hanover County / Cape Fear Museum
New Hanover County PIN: RO4817-040-001-000

Zoning: See S100
Acreage of Parcel A: 1.13 acres - Zoned Urban Mixed Use (UMX)
Parcel A ID #: 61321
Acreage of Parcel B: .12 acres - Zoned Office & Institutional Special Use District O&I-1 (SD)
Parcel B ID #: 68126
Acreage of Parcel C: .12 acres - Zoned Office & Institutional Special Use District O&I-1 (SD)
Parcel C ID #: 68188
Total Acreage within project boundary: 1.37 acres
Property is located within National Register Historic District Overlay

Total Building Size: 43,469 SF
Basement - 12,243 SF
First Floor - 17,165 SF
Second Floor - 12,243 SF

Building Setbacks:
Required: 5' Minimum - 10' Maximum
Proposed: NONE (All buildings are existing)
Building Heights:
Existing Museum: 36'
Existing Pavilion: 25'

Pre-development Impervious Surface: 35,307.0 SF / 0.81 acres
Post-development Impervious Surface: 25,381.1 SF / 0.58 acres
Impervious Surface Reduction: 9,925.9 SF / 0.23 acres
Building Lot Coverage: 40.5% Existing (Parcel A only. Includes Museum & Pavilion)

Parking - Project is exempt from parking requirements
Parking Provided:
Meadow Street: 8 spaces (2 are parallel handicap parking spaces)
Meadow Street Lot: 28 spaces
Ninth Street Lot: 24 spaces

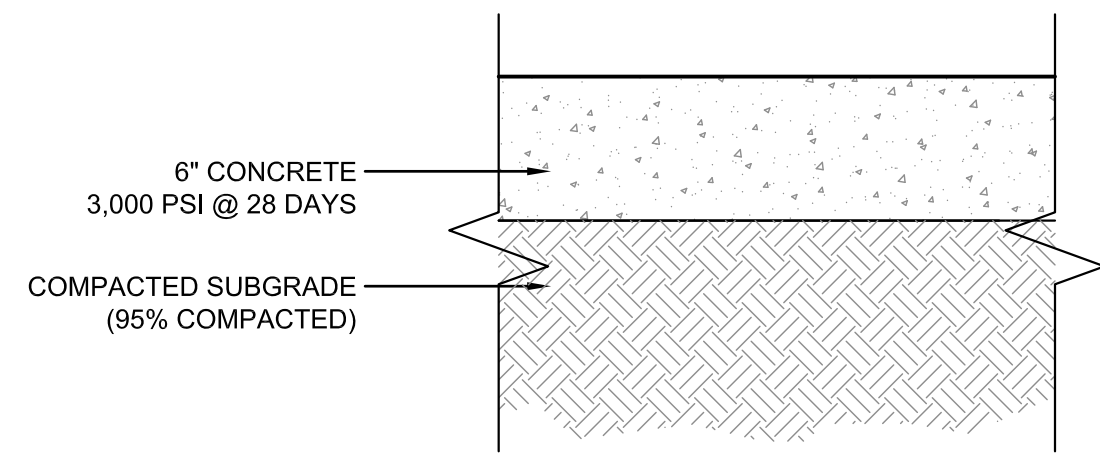
CAMA Land Use: Urban

LANDSCAPE ARCHITECT:

NOT FOR CONSTRUCTION

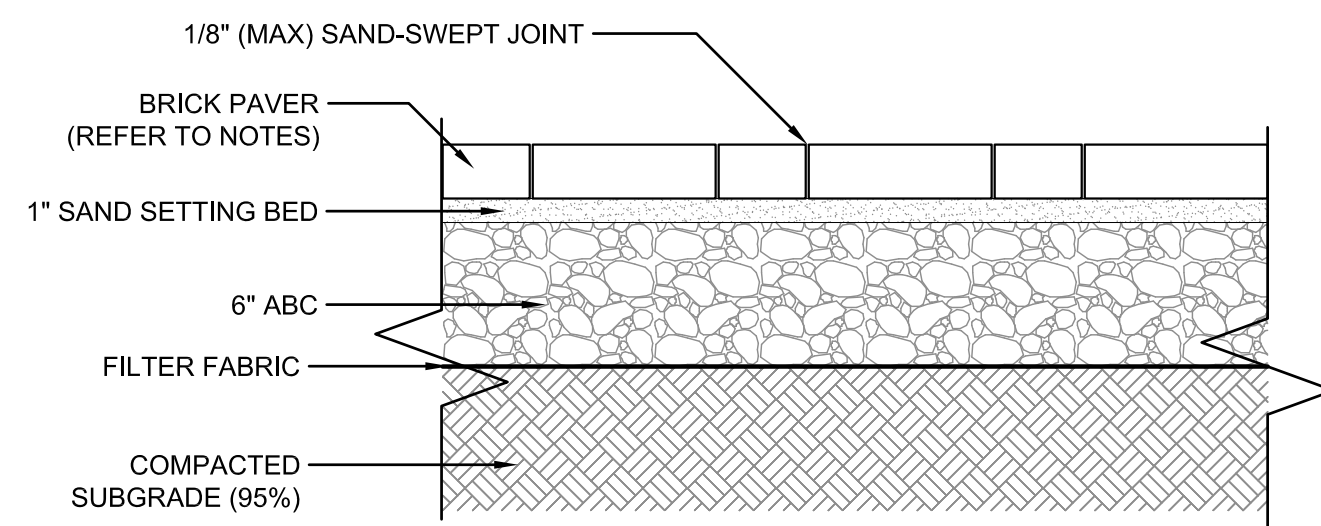


po box 28504
raleigh nc 27611
919-755-0046
obsla.net



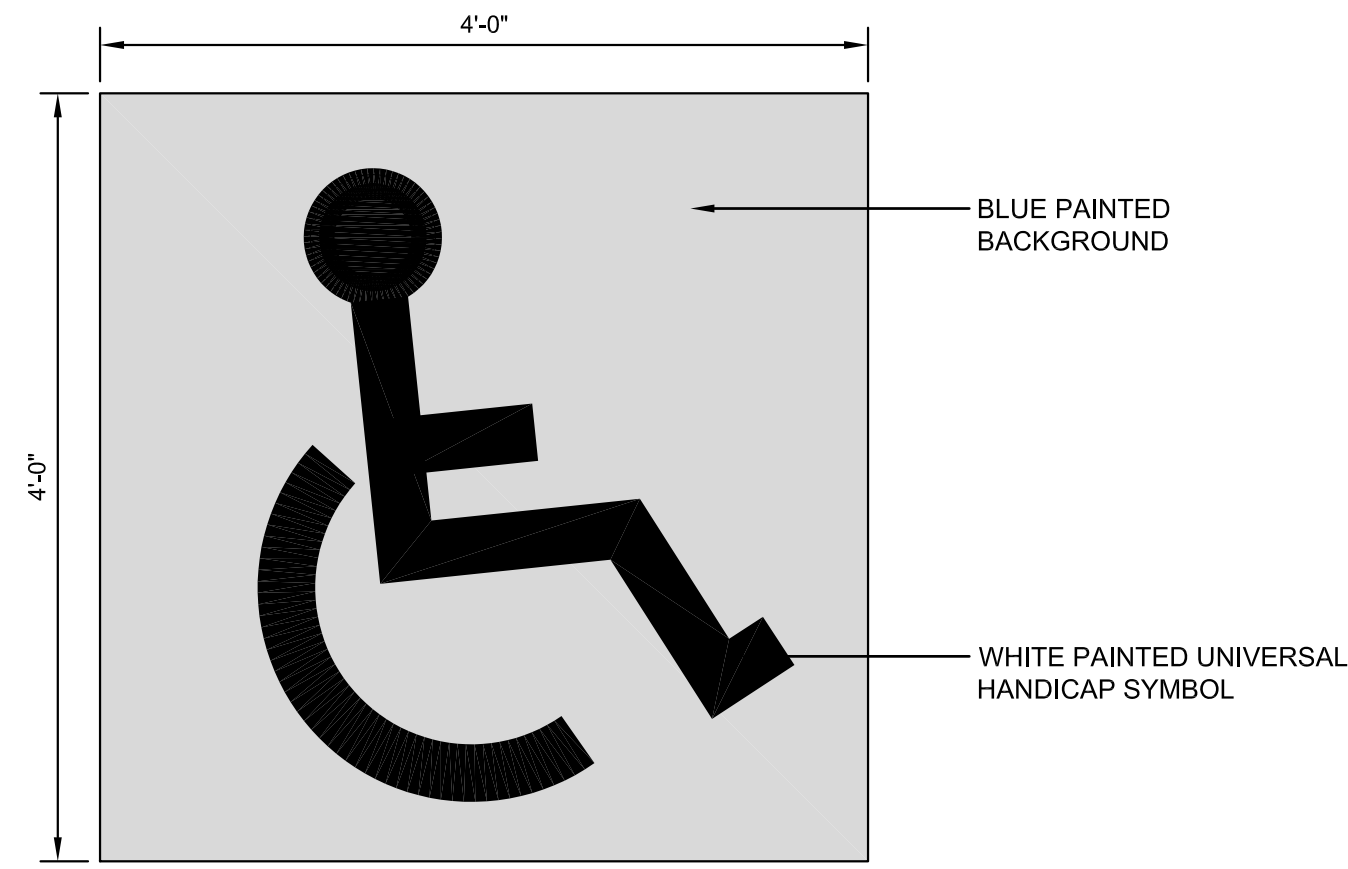
- NOTES:
 1) Cross slope as shown on grading plan.
 2) Expansion joints every 30' or as shown on the plans.
 3) Control joints every 5' or as shown on the layout plans
 4) Broom Finish

1 STANDARD CONCRETE PAVING
 1 1/2" = 1'-0"



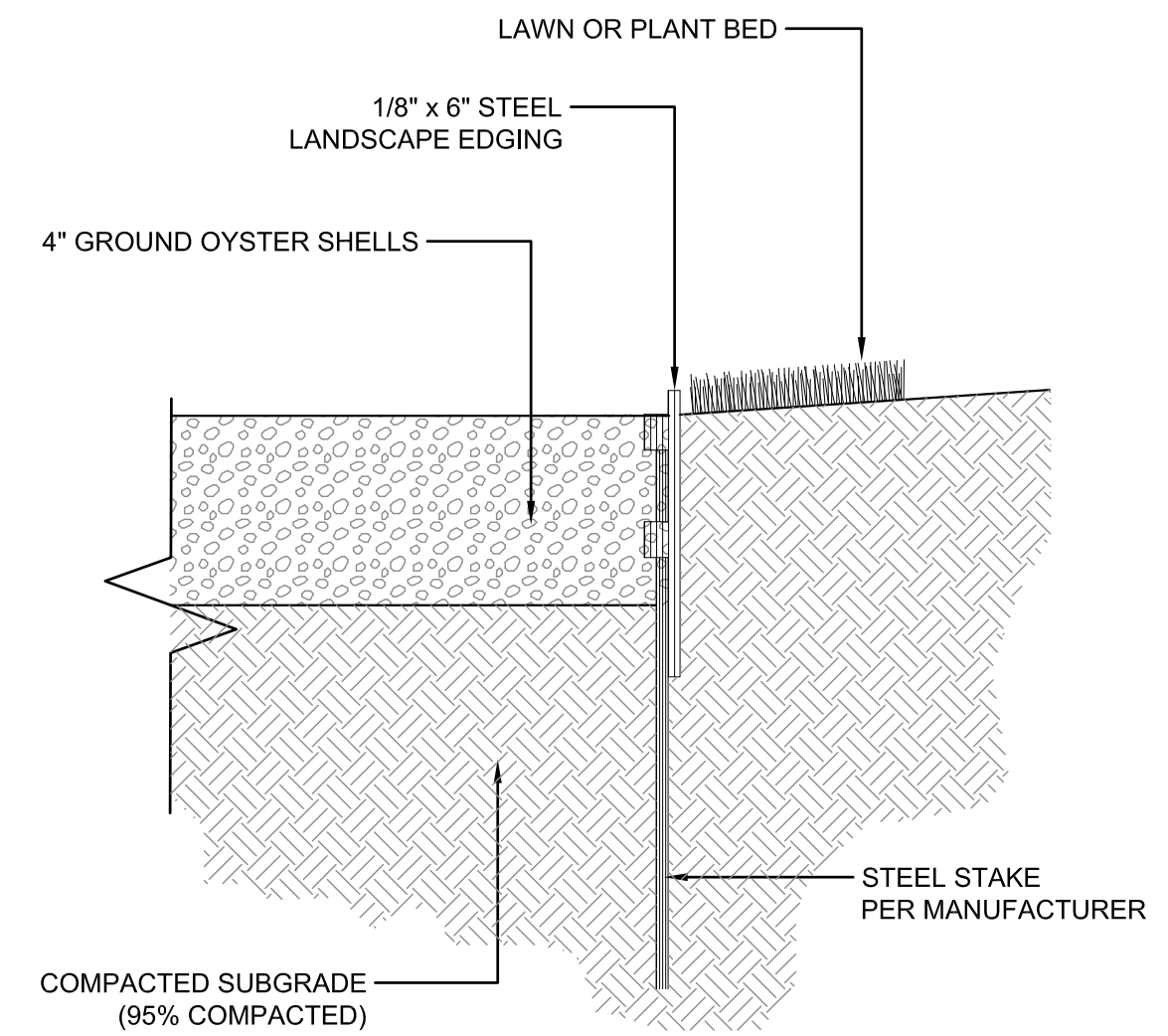
- NOTES:
 1)
 2)
 3)

2 OBS-BRICK PAVING
 1 1/2" = 1'-0"

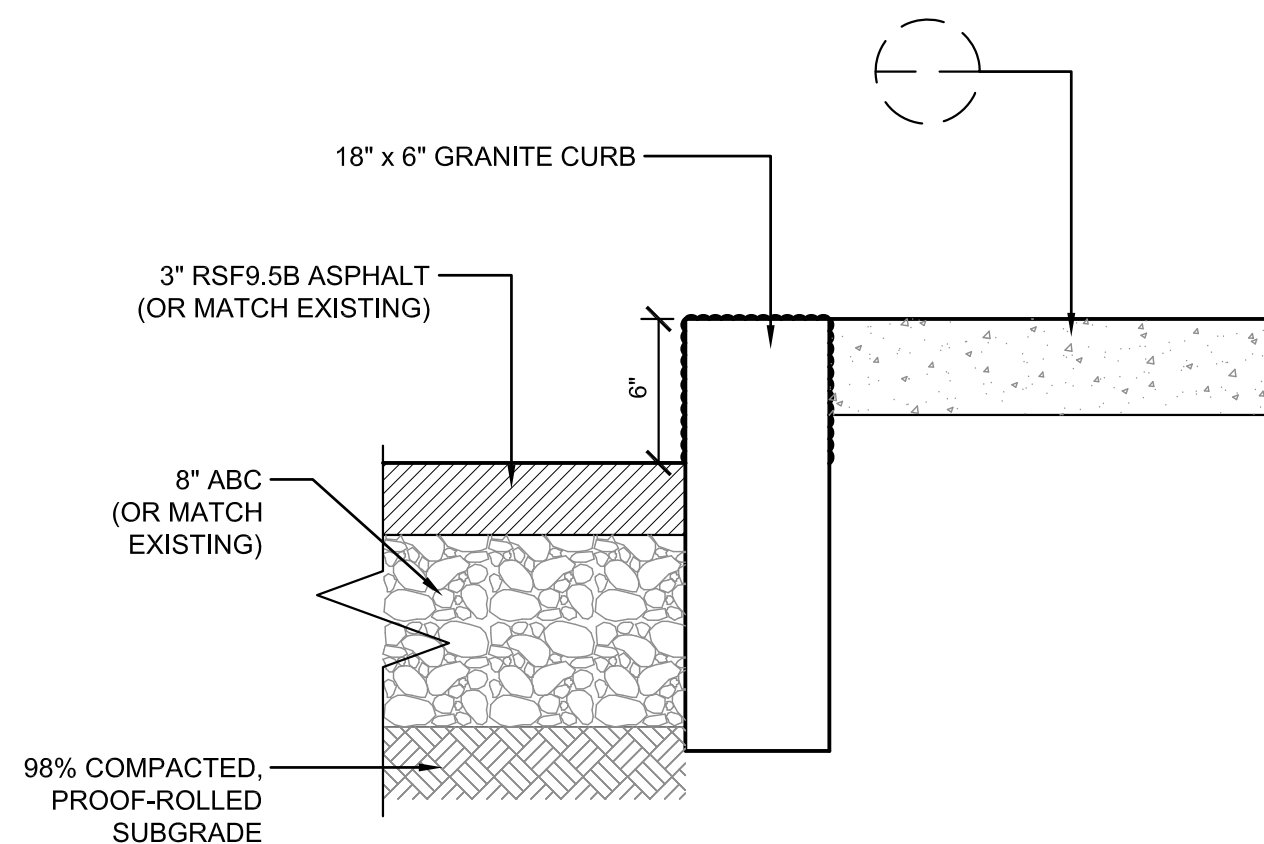


- NOTES:
 1. Handicap symbol to be the standard universal handicap symbol.
 2. Any painting in the ROW to conform to NCDOT standard specifications and details.
 3. Location to be coordinated in the field with designer and/or inspector.
 4. Paint colors to conform to NCDOT and/or MUTCD Standards.

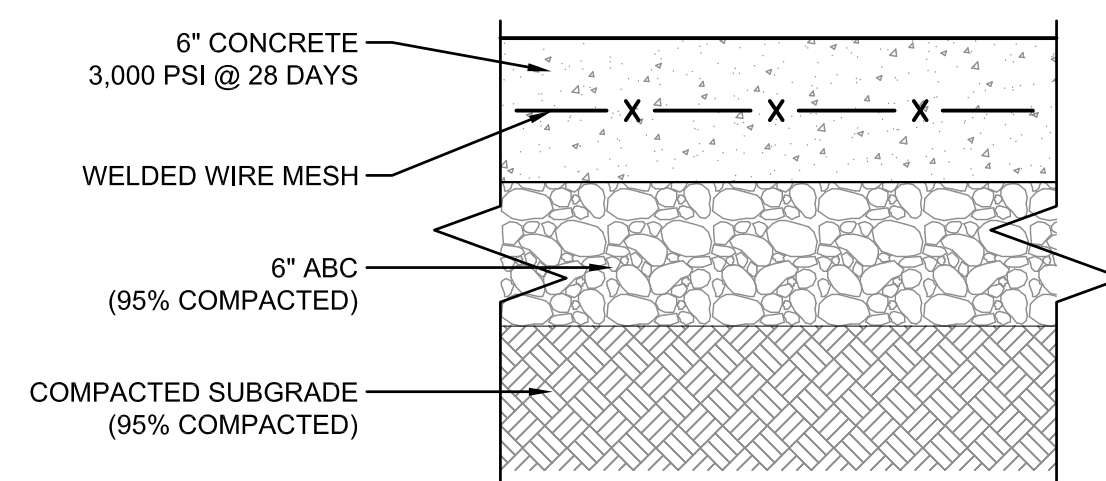
3 HANDICAP PAVEMENT SYMBOL
 1" = 1'-0" P-PF-14_CF-18



4 GROUND OYSTER SHELL PAVING
 3" = 1'-0"

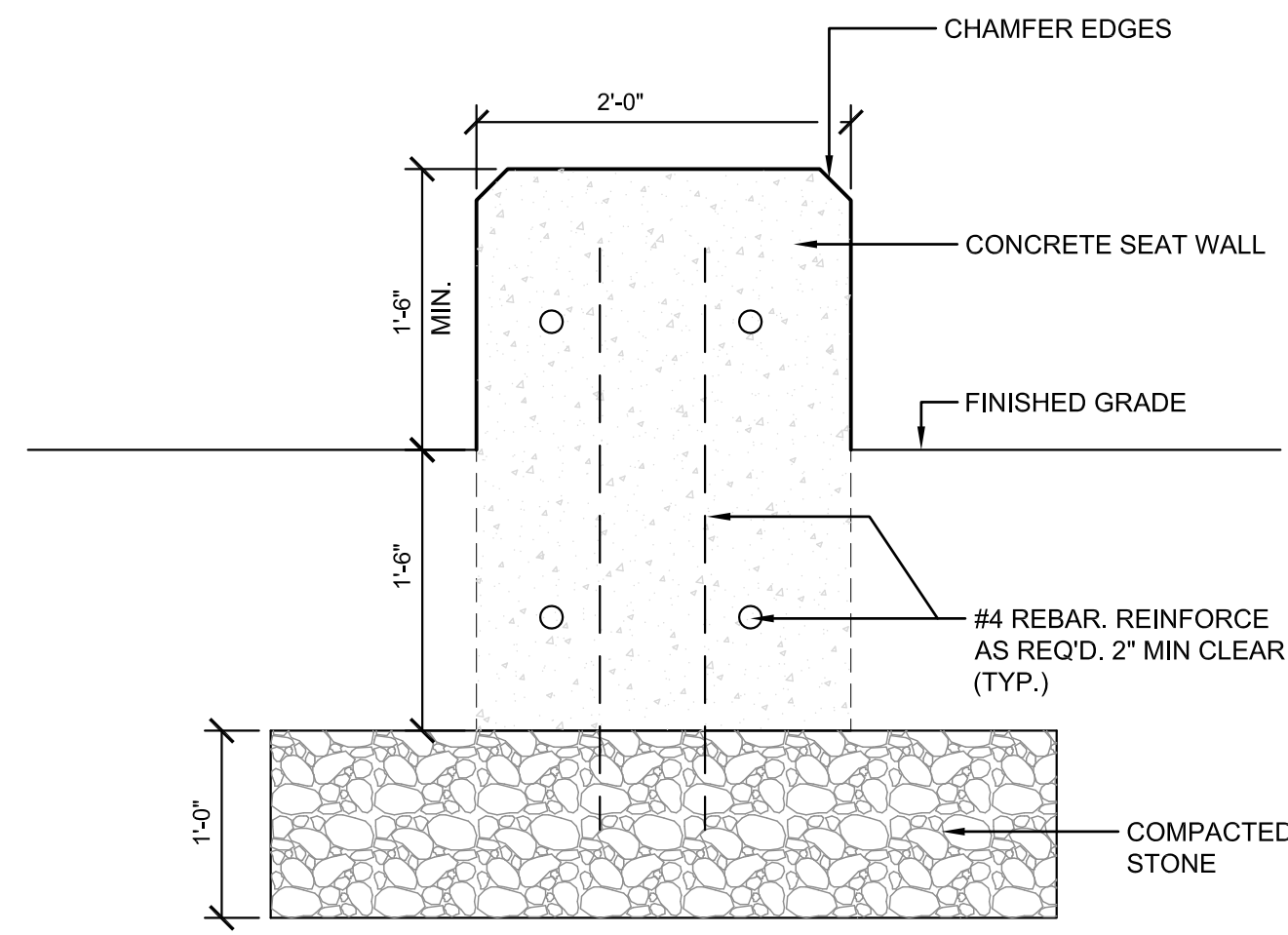


5 ASPHALT PAVING W/ GRANITE CURB
 1 1/2" = 1'-0"



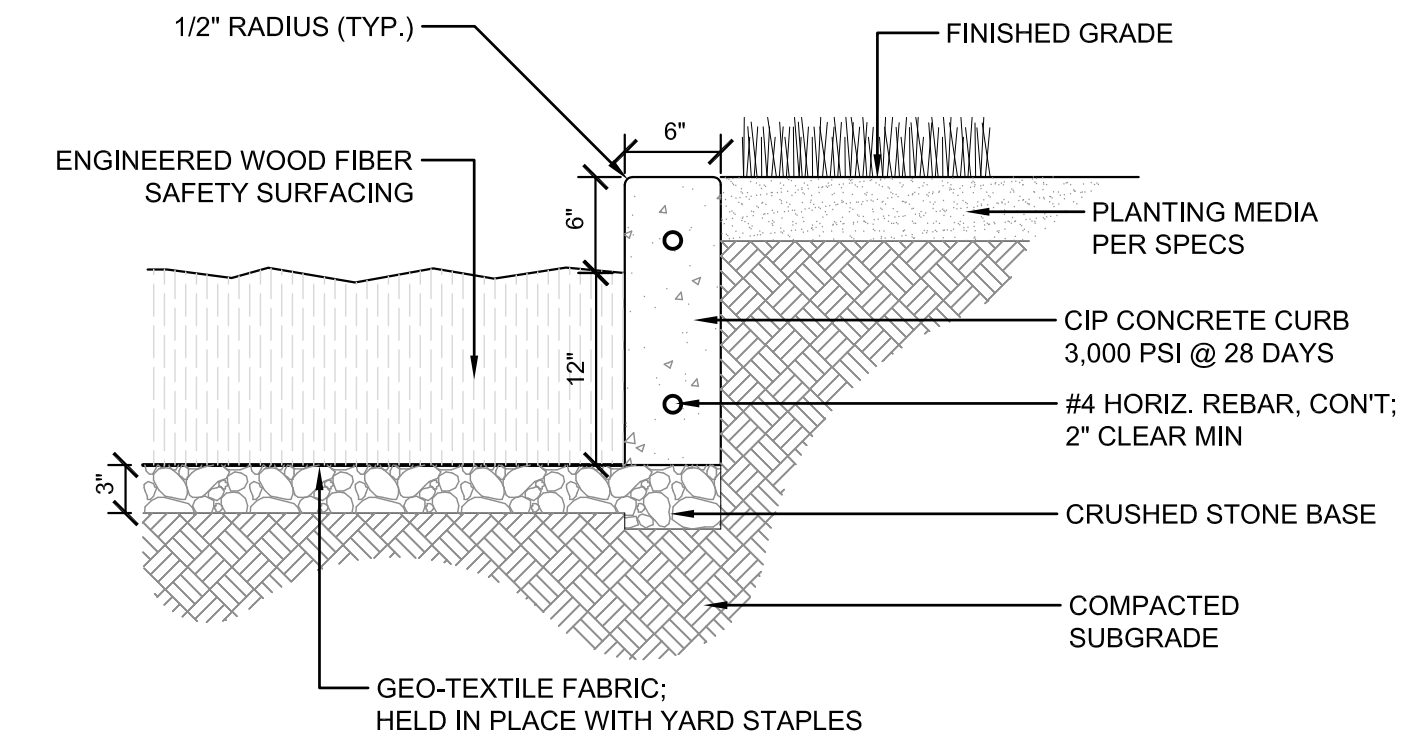
- NOTES:
 1) Cross slope as shown on grading plan.
 2) Expansion joints every 30' or as shown on the plans.
 3) Control joints every 5' or as shown on the layout plans
 4) Broom Finish

6 CONCRETE PAVING (HEAVY DUTY)
 1 1/2" = 1'-0"

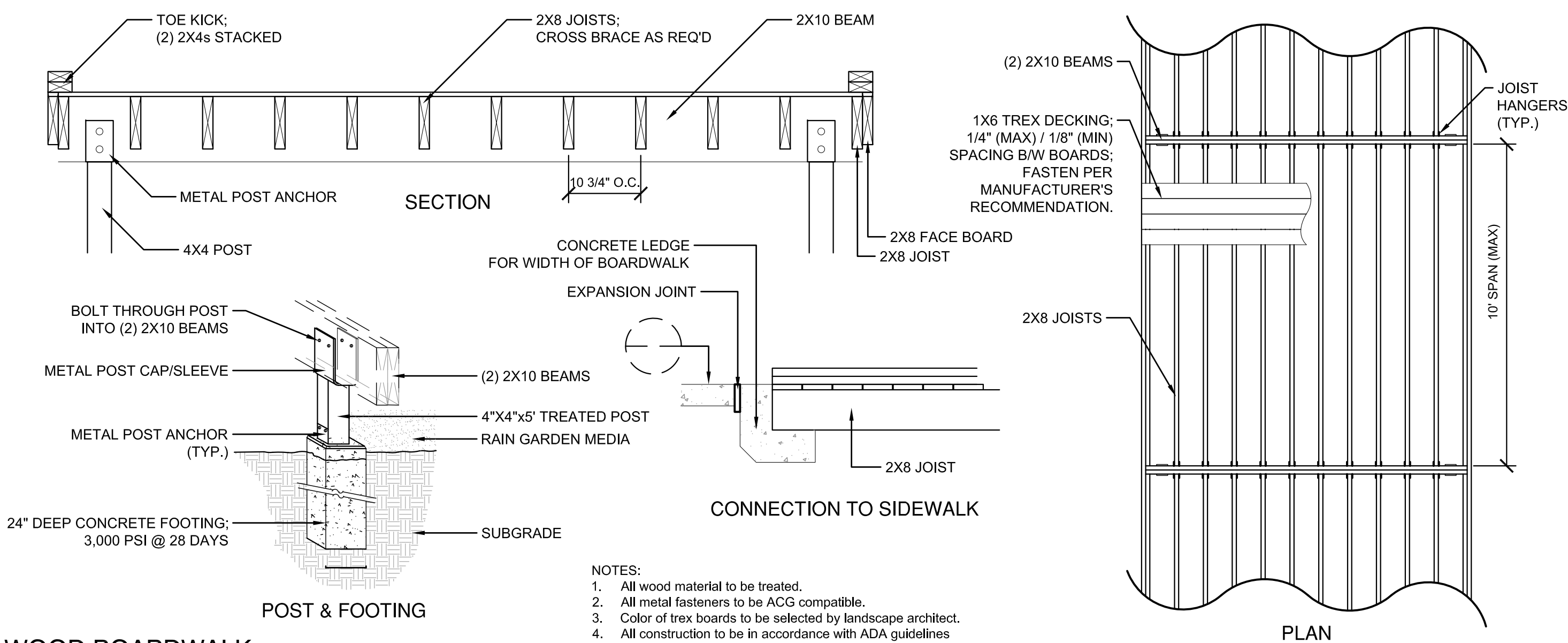


- NOTES:
 1) REFERENCE GRADING PLAN FOR TOP AND BOTTOM OF WALL ELEVATIONS.
 2) BOTTOM OF WALL ELEVATIONS REFER TO FINISHED GRADE.

7 CONCRETE SEAT WALL
 1" = 1'-0"



8 CONCRETE EDGE
 1" = 1'-0"



- NOTES:
 1. All wood material to be treated.
 2. All metal fasteners to be ACG compatible.
 3. Color of trex boards to be selected by landscape architect.
 4. All construction to be in accordance with ADA guidelines

9 WOOD BOARDWALK
 NTS

DETAILS

CONSULTANTS:

SEALS:

Cape Fear Museum
 Outdoor Learning Environment
 NEW HANOVER COUNTY
 814 Market Street, Wilmington, NC 28401

DATE: 11/19/2014

DESIGNER: LED

CHECKED BY: BHS

REVISIONS

NO. DATE

Planning:

Traffic:

Fire:

SCALES

HORIZ: 1"=10'-0"

DESIGN DEVELOPMENT

SHEET NO.

D100

CONSULTANTS:

SEALS:

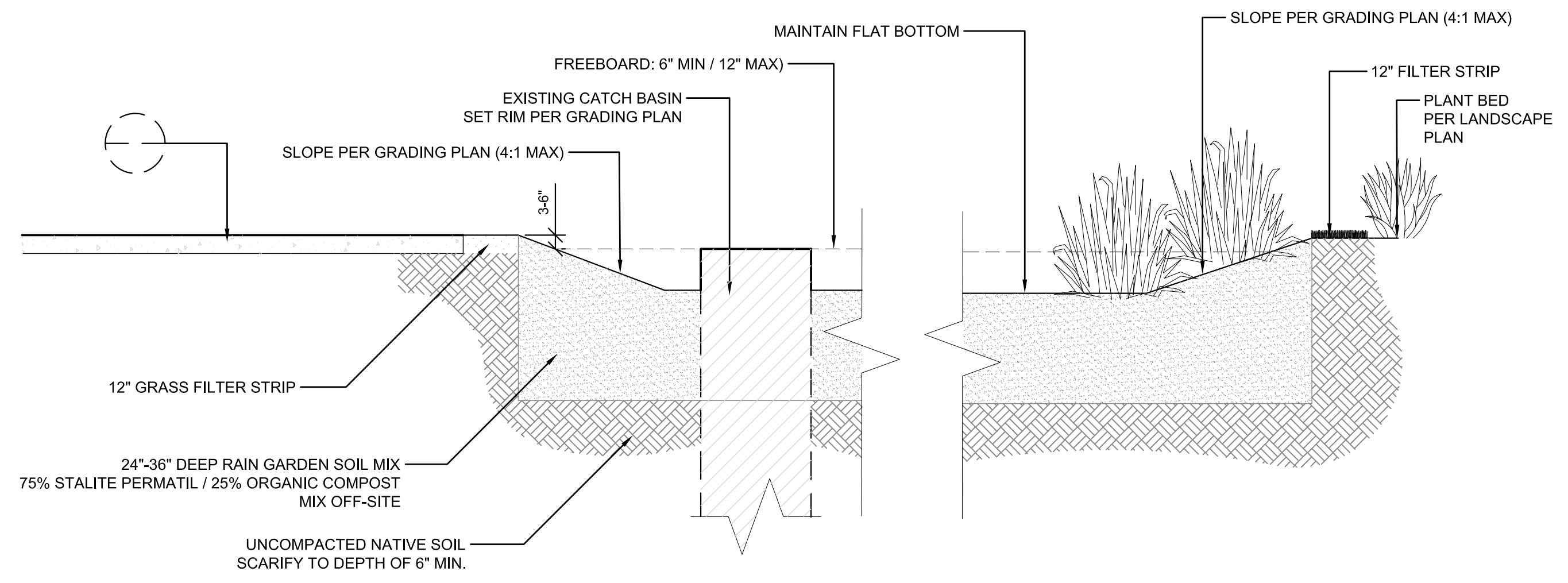
Cape Fear Museum
Outdoor Learning Environment
 NEW HANOVER COUNTY
 814 Market Street, Wilmington, NC 28401

DATE: 11/19/2014
 DESIGNER: LED
 CHECKED BY: BHS
 Public Services • Approval Block
 Date: _____ Name: _____
 Planning: _____
 Traffic: _____
 Fire: _____

REVISIONS
 NO. DATE

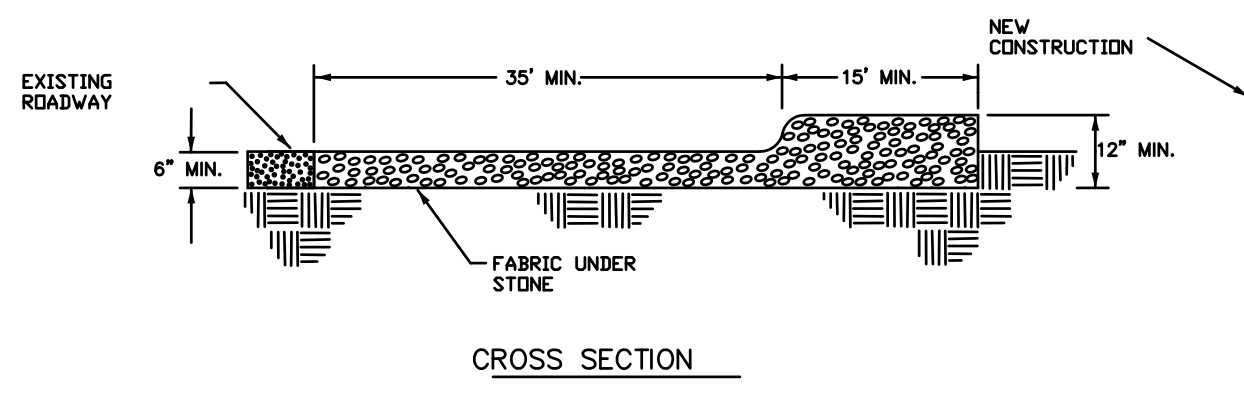
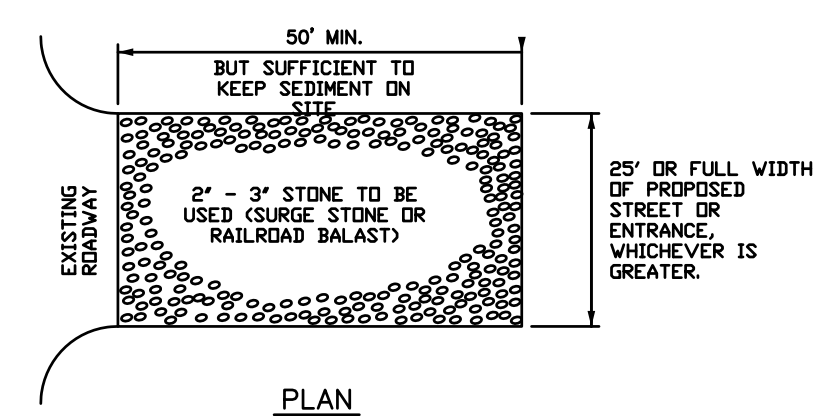
SCALES
 HORIZ: 1"=10'-0"
 DESIGN DEVELOPMENT

SHEET NO.
D101

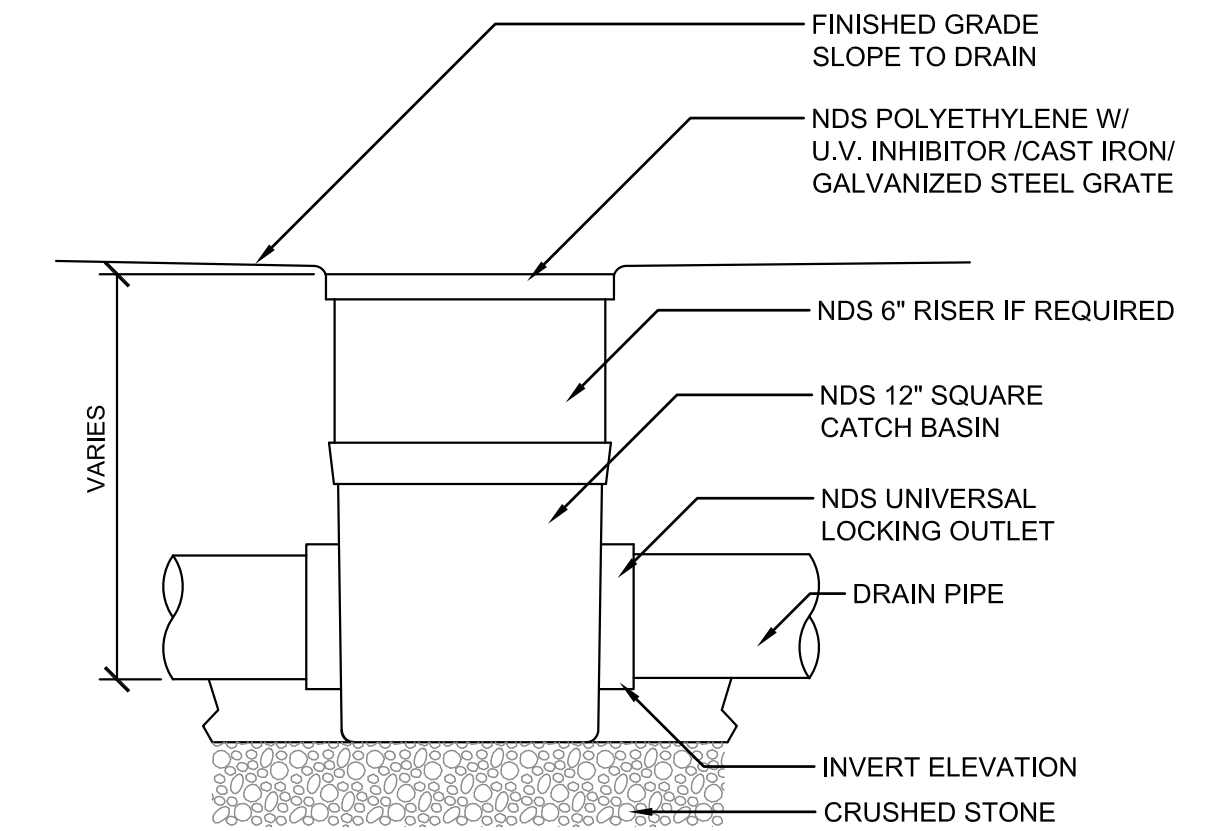


2 RAIN GARDEN
1/2" = 1'-0"

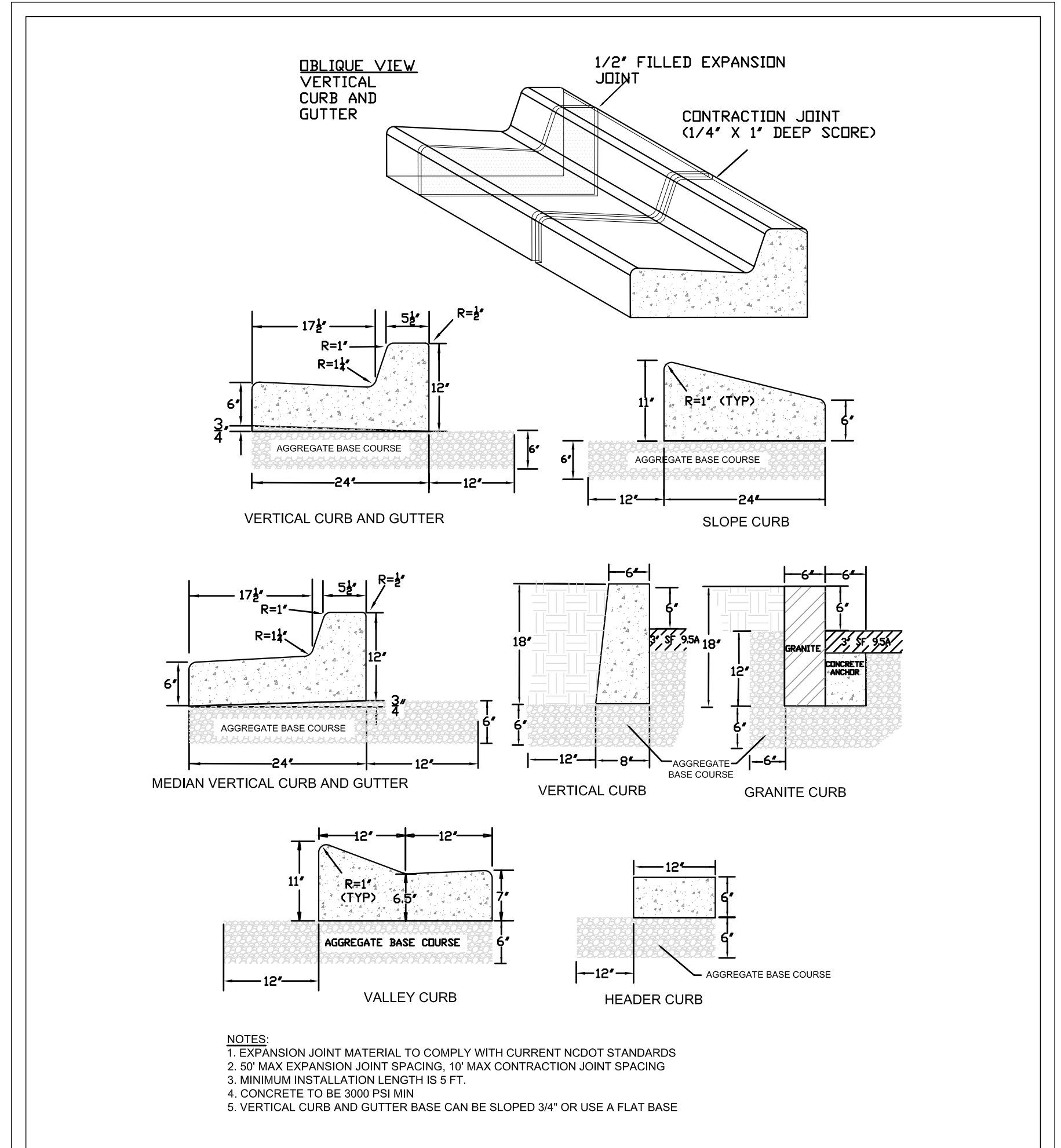
- NOTES:**
- 1) PUT SILT FENCE OR TREE PROTECTION FENCE UP TO ENSURE CONSTRUCTION ENTRANCE IS USED.
 - 2) IF CONSTRUCTION ON THE SITES ARE SUCH THAT THE MUD IS NOT REMOVED BY THE VEHICLE TRAVELING OVER THE STONE, THEN THE TIRES OF THE VEHICLE MUST BE WASHED BEFORE ENTERING THE PUBLIC ROAD.
 - 3) IF A PROJECT CONTINUES TO PULL MUD AND DEBRIS ON TO THE PUBLIC ROAD, THE GOVERNING AUTHORITY WILL CLEAN THE AREA AND INVOICE THE FINANCIALLY RESPONSIBLE PERSON AS INDICATED ON THE FINANCIAL RESPONSIBILITY FORM.




3 CONSTRUCTION ENTRANCE
NTS



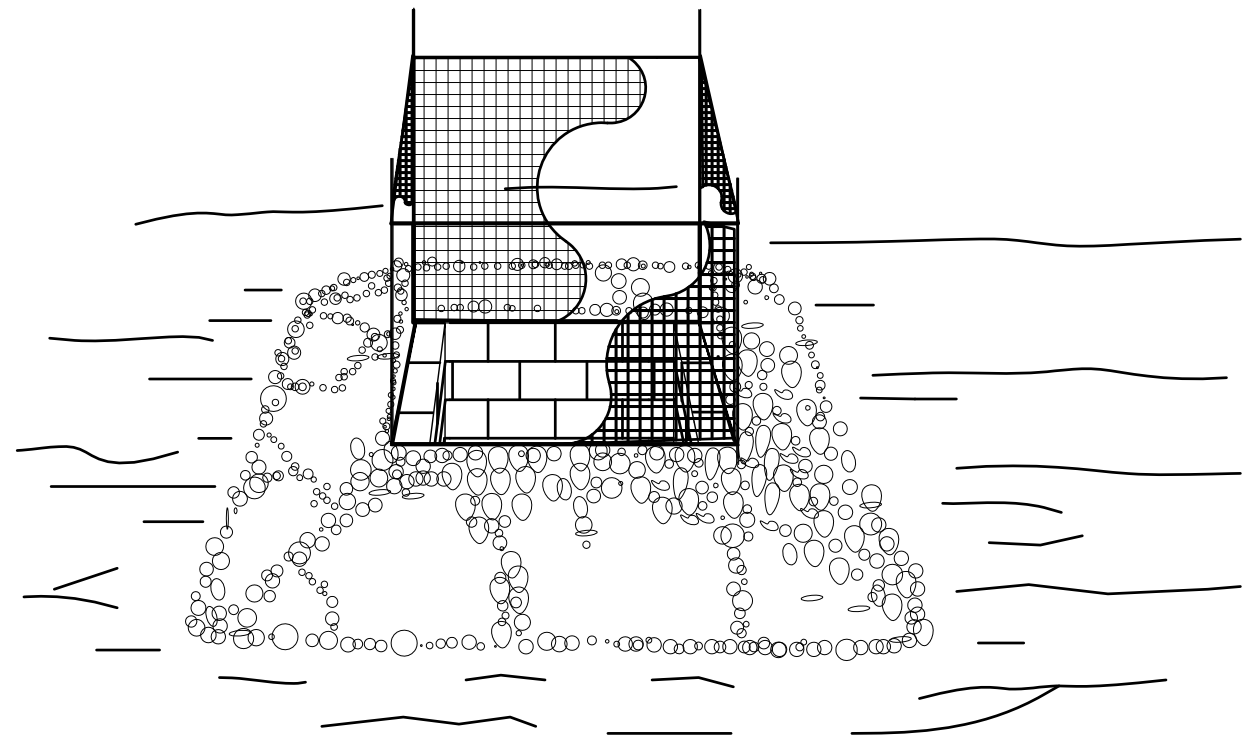
4 12" HDP INLET (IN LAWN)
1 1/2" = 1'-0"



- NOTES:**
1. EXPANSION JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS
 2. 50' MAX EXPANSION JOINT SPACING, 10' MAX CONTRACTION JOINT SPACING
 3. MINIMUM INSTALLATION LENGTH IS 5-FT.
 4. CONCRETE TO BE 3000 PSI MIN
 5. VERTICAL CURB AND GUTTER BASE CAN BE SLOPED 3/4" OR USE A FLAT BASE

STANDARD DETAIL		 CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON N.C. 28402 (910) 341-7807	SD 3-11
CURBING			
DATE:	AUGUST, 2011		
DRAWN:	PB/JSR		
CHECKED:	DEC		
SCALE:	NOT TO SCALE		

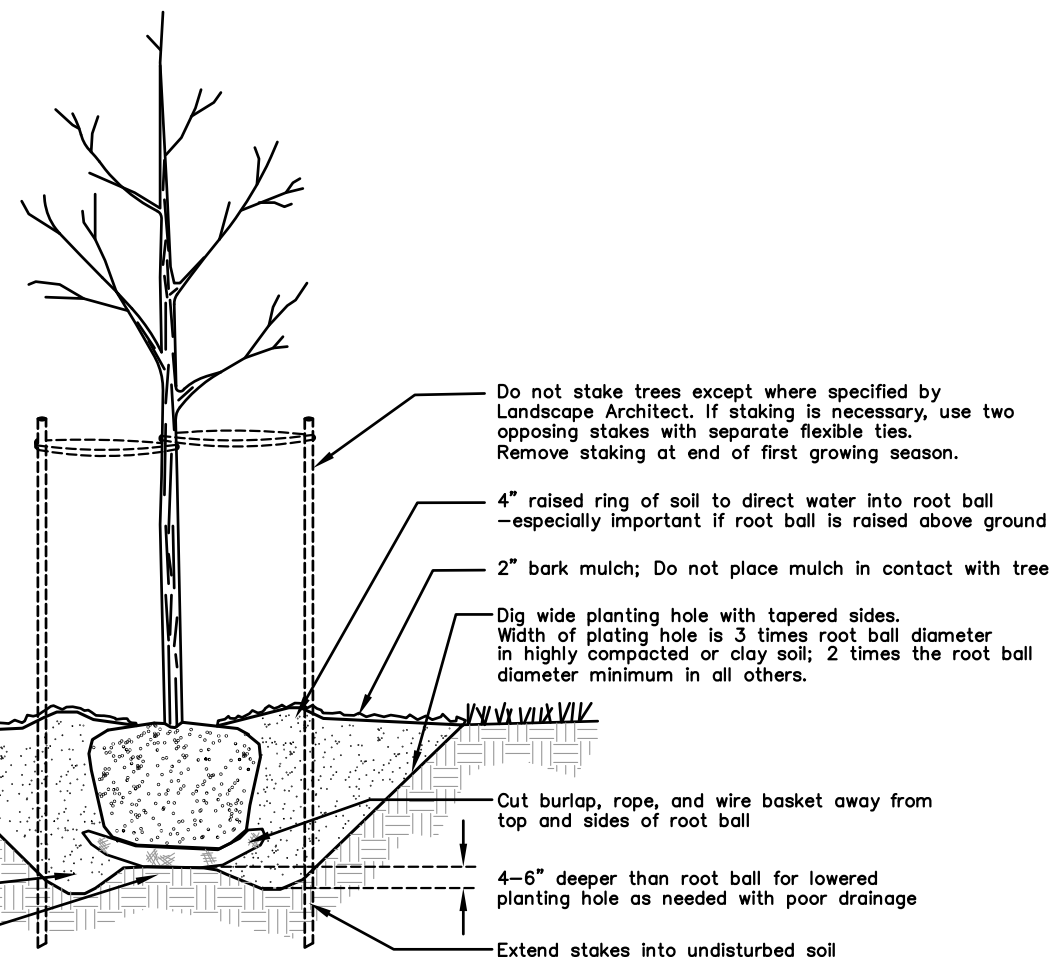
1 CURB & GUTTER (CITY OF WILMINGTON)
3" = 1'-0"



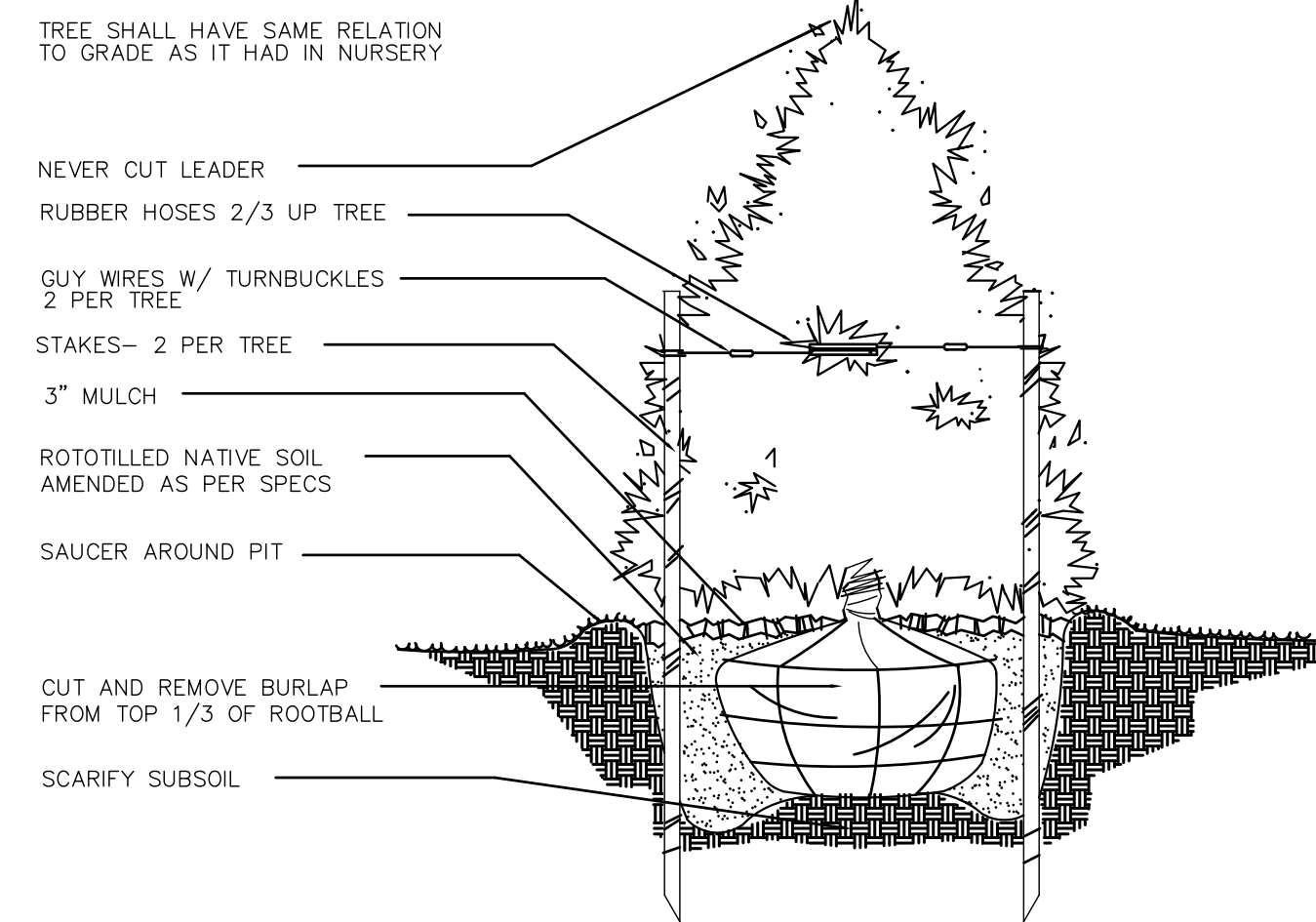
5 SILT FENCE INLET PROTECTION
NTS

DETAILS

- NOTES:
- Where several trees will be planted close together such that they will likely share root space, till in soil amendments to a depth of 4-6" (10-15cm) over the entire area.
 - For container-grown trees, use fingers or small hand tools to pull the roots out of the outer layer of potting soil; then cut or pull apart any roots circling the perimeter of the container.
 - During the design phase, confirm that water drains out of the soil; use lowered planting hole depth and design alternate drainage system as required.
 - Thoroughly soak root ball and adjacent prepared soil several times during first month after planting and regularly throughout the following two summers.
 - The planting process is similar for deciduous and evergreen trees.
 - Do not wrap trunk; Mark the north side of the tree in the nursery and locate to the north in the field.
 - Avoid purchasing trees with two leaders or remove one at planting. Otherwise, do not prune tree at planting except for specific structural corrections.
 - Before planting, add 3-4" of well-composted leaves, recycled yard waste or other compost and fill into top 6" of prepared soil. Add compost at 20-35% by volume to backfill soil. Add compost at 20-35% by volume to backfill.

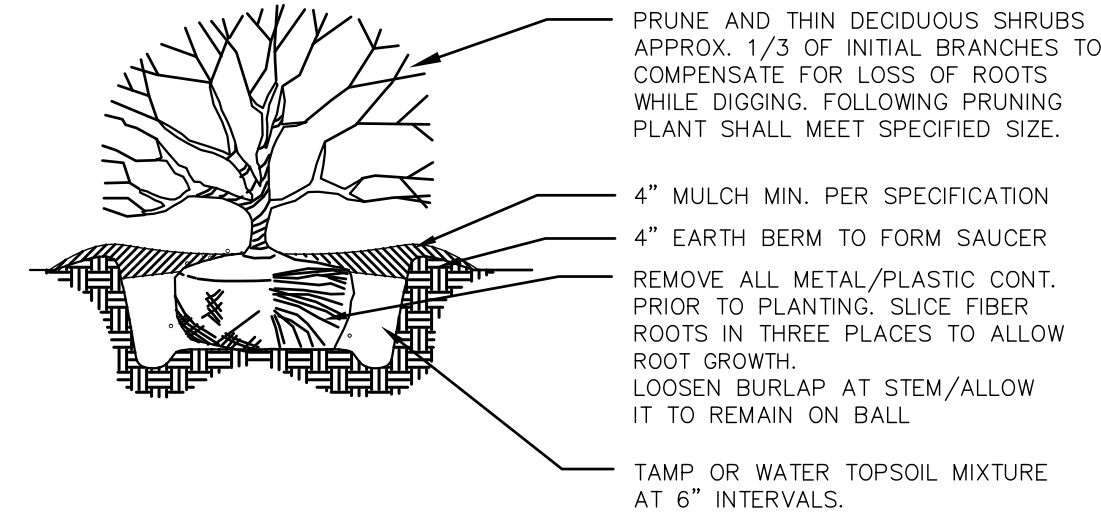


○ TREE PLANTING NTS



○ EVERGREEN TREE PLANTING NTS

- NOTES:
- SOIL MIX-1/3 ORGANIC MATTER, 2/3 EXIST SOIL.
 - WIDTH OF PLANT PIT -SANDY SOIL, 24" WIDER THAN PLANT BALL -CLAY SOIL, 12" WIDER THAN PLANT BALL
 - FOR PLANTING AREAS WHERE SOIL HAS BEEN COMPACTED BY EQUIP. CONTACT LA PRIOR TO PLANTING.
 - FOR CAMELLIAS, RHODOS, AZALEAS, AND LAURELS: SOIL MIX, 2/3 ORGANIC AND 1/3 EXISTING SOIL
 - SHRUB SHALL BEAR SAME RELATIONSHIP TO GRADE AS IT DID PRIOR TO DIGGING.



○ SHRUB PLANTING NTS



○ PAVILION FENCING NTS

CONSULTANTS:

SEALS:

Cape Fear Museum
 Outdoor Learning Environment
 NEW HANOVER COUNTY
 814 Market Street, Wilmington, NC 28401

DATE: 11/19/2014

DESIGNER: LED

CHECKED BY: BHS

REVISIONS

NO.	DATE

SCALES
 HORIZ: 1"=10'-0"

DESIGN DEVELOPMENT

WILMINGTON NORTH CAROLINA
 Public Services • Approval Block

Date: _____ Name: _____

Planning: _____

Traffic: _____

Fire: _____

DETAILS

GENERAL NOTES:

- Contractor shall inspect site prior to bidding and start of work; verify existing conditions match plans and accept site, or report any discrepancies immediately to the owner.
- Limits of construction activities will adhere to those clearly indicated on the plans unless designated otherwise.
- Contractor is responsible for scheduling all pre-construction meetings with all applicable governing jurisdictions. Contractor is responsible for obtaining and paying for all permits, inspections, and certifications that may be required.
- All work shall be in accordance with New Hanover County, Town of Wilmington, & NCDOT standard specifications and details.
- Contractor shall keep job site free of trash and garbage, and shall immediately collect any construction-related debris or trash that is on right of way or adjoining properties.
- Tree protection fence is to be installed prior to any construction and be maintained throughout construction and removed accordingly after construction. Location to be approved by landscape architect prior to disturbance.
- All soil erosion control measures required shall be installed prior to grading, clearing, or grubbing. All erosion control devices such as silt fences, etc., shall be maintained in workable conditions for the life of the project and shall be removed at the completion of the project only on the landscape architect's approval. Payment shall be considered incidental to clearing and grubbing. If during the life of the project, a storm causes soil erosion which changes finish grades or creates "gullies" and "washed areas", these shall be repaired at no extra cost, and all silt washed off the project site onto adjacent property shall be removed as directed by the landscape architect at no extra cost. The contractor shall adhere to any approved erosion control plans whether indicated in the construction plans or under separate cover.
- Contractor shall restore any facilities or utilities damaged during construction.
- Any discrepancies in plans, or departure from plans shall be reported to the landscape architect immediately, and no work shall continue on affected issue until directed by landscape architect.
- Prepare and maintain on job site 'as-built' plans. Contractor to prepare and maintain 'as built' plans. Contractor responsible for the preparation and delivery of as built drawings to the owner. Contractor to have original CAD drawing files revised to illustrate changes made during construction.
- Finish grade tolerances shall be as noted in the specifications. The landscape architect may make minor grade changes as required in the field without effecting the unit bid price for unclassified excavation.
- Entire area to be graded shall be cleared and grubbed. No fill shall be placed on any area not cleared and grubbed.
- The contractor is responsible for the coordination and adjustment of all utility surface accesses whether he performs the work or a utility company performs the work.
- The contractor shall control all "dust" by periodic watering and shall provide access at all times for property owners within the project area and for emergency vehicles. All open ditches and hazardous areas shall be clearly marked in accordance with the specifications.
- The contractor shall enter and exit the site via the temporary construction entrance as detailed in the drawings.
- All work must comply with North Carolina State Building and Handicapped Accessibility Code.
- Prevent spilling of fuels, lubricants, coolants, hydraulic fluids, and any other petroleum products onto the ground or into surface waters. Dispose of spent fuels appropriately. As per law, contractor is responsible for all costs associated with hazardous material spills including remediation.
- DISPOSABLE MATERIAL**
 - Clearing and grubbing wastes shall be removed from the site and properly disposed of by the contractor at his expense, unless specified otherwise. Solid wastes to be removed, such as sidewalks, curbs, pavement, etc., shall be removed from the site as required by the specifications.
 - Abandoned utilities such as culverts, water pipe, hydrants, castings, pipe appurtenances, utility poles, etc., shall be the property of the specific utility agency, or company having jurisdiction. Before contractor can remove, destroy, salvage, reuse, sell or store for his own use any abandoned utility, he must present to the owner written permission from the utility company involved.
 - The open burning of trees, limbs, stumps and construction debris associated with this development is prohibited.
 - There are no existing or proposed easements or other restrictions on the property.
 - There are no current drainage problems on the property.

CITY OF WILMINGTON GENERAL NOTES:

- All pavement markings in public rights-of-way and for driveways are to be thermoplastic and meet City and/or NCDOT standards.
- All signs and pavement markings in areas open to public traffic are to meet MUTCD (Manual on Uniform Traffic Control Devices) standards.
- All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
- All parking stall markings and lane arrows within the parking areas shall be white.
- A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.
- Any broken or missing sidewalk panels, driveway panels, and curbing will be replaced.
- Contact Traffic Engineering at 341-7888 forty-eight hours prior to any excavation in the right of way.

GENERAL DEMOLITION NOTES:

- Tree protection fencing must be in place prior to any clearing, demolition, and disturbance or issuance of grading permit and maintained throughout construction. Landscape Architect to verify fence location prior to construction.
- All materials noted for removal to be disposed of off-site and in a legal manner, unless otherwise noted. Contractor to recycle materials as appropriate including asphalt, concrete, brick, and vegetation.
- Items or elements noted for removal and return to owner or relocation shall be stored on-site at owner's direction.
- Items not noted for removal, including trees, lights, plant material, paving, and all utilities shall be protected and secured throughout construction. Any damage incurred shall be corrected in kind at no additional cost to the owner.
- Erosion control measures to be installed prior to site disturbance.
- If root systems of existing trees noted to remain on site are encountered during construction, roots are to be pruned under the direction a Certified Arborist.
- Contractor to verify location of existing utilities prior to construction.
- Contractor to keep construction entrance and adjacent streets clean throughout construction.
- Contractor shall keep job site free of trash and garbage.
- Any discrepancies in plans or departure from plans shall be reported to the Landscape Architect immediately.
- All pavement / curb to be saw cut at limits of removal.

GENERAL LAYOUT NOTES:

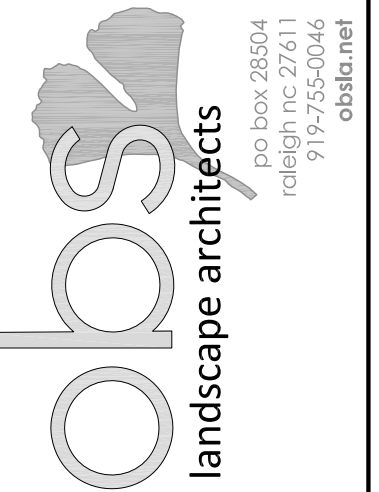
- Drawings based on survey provided by Michael Underwood and Associates, PA. Landscape Architect assumes no responsibility for the accuracy of the survey.
- Any discrepancies in layout should be brought to the attention of the Landscape Architect immediately.
- Written dimensions supercede scaled dimensions. Do not scale drawings.
- Layout to be staked by a surveyor licensed in North Carolina.

GENERAL GRADING NOTES:

- Construction fencing and tree protection fencing must be in place prior to any clearing, demolition, and disturbance or issuance of grading permit and maintained throughout construction. Landscape Architect to verify fence location prior to construction.
- Contractor to insure positive drainage away from buildings.
- All slopes to be consistent and uniform.
- Bottom of wall elevations (BW) refer to finish grade not top or bottom of wall footing.
- Spot elevations reference final surface elevations.
- Subgrade elevations shall reflect slope and grade of final surface elevations.
- All proposed pavement shall meet existing pavement, flush.
- All walks to exhibit a 2% cross slope and not exceed 5% slope in the direction of pedestrian movement unless otherwise noted.
- The contractor shall install and maintain sufficient erosion and sediment control measures as needed to keep sediment within the project work area. Any sediment deposited outside the project work area, including tracking out, shall be immediately cleaned up by sweeping and removing the material by hand. Accumulated sediment on hard surfaces shall not be washed into storm drains, gutters or receiving waters. All installed erosion and sediment control measures shall be removed once the project area is fully stabilized.

GENERAL PLANTING NOTES:

- All plant materials to comply with American Standard for Nursery Stock ANSI.Z60
- Substitutions of plant materials specified can only occur with prior approval by Landscape Architect.
- Establish plant bed configuration. Landscape Architect to approve bed layout in field.
- Perform soil test in all new plant beds and amend soils as recommended.
- Install plants and mulch plant beds with 3" shredded hardwood mulch.
- All trees to be installed between October 1 and April 30.
- Contractor to guarantee plant materials for a one year period following substantial completion.
- Areas damaged by activities of contractor shall be re-established to pre-disturbance condition at no additional cost to the owner.
- Use herbicides, pesticides, and fertilizer in a manner consistent with the federal insecticide, fungicide, and rodenticide act and in accordance with label restrictions.
- Contractor shall protect any existing planting not involved in new construction.
- Contractor shall insure that all plant material is free of fire ants prior to installation.
- Landscape Architect / Owner shall approve placement of trees prior to planting.



CONSULTANTS:

SEALS:

Cape Fear Museum
Outdoor Learning Environment
 NEW HANOVER COUNTY
 814 Market Street, Wilmington, NC 28401

DATE: 11/19/2014

DESIGNER: LED

CHECKED BY: BHS

REVISIONS

NO.	DATE

SCALES

HORIZ: 1"=10'-0"

DESIGN DEVELOPMENT

SHEET NO.

G100

CITY OF WILMINGTON
NORTH CAROLINA

Public Services • Approval Block

Date: _____ Name: _____

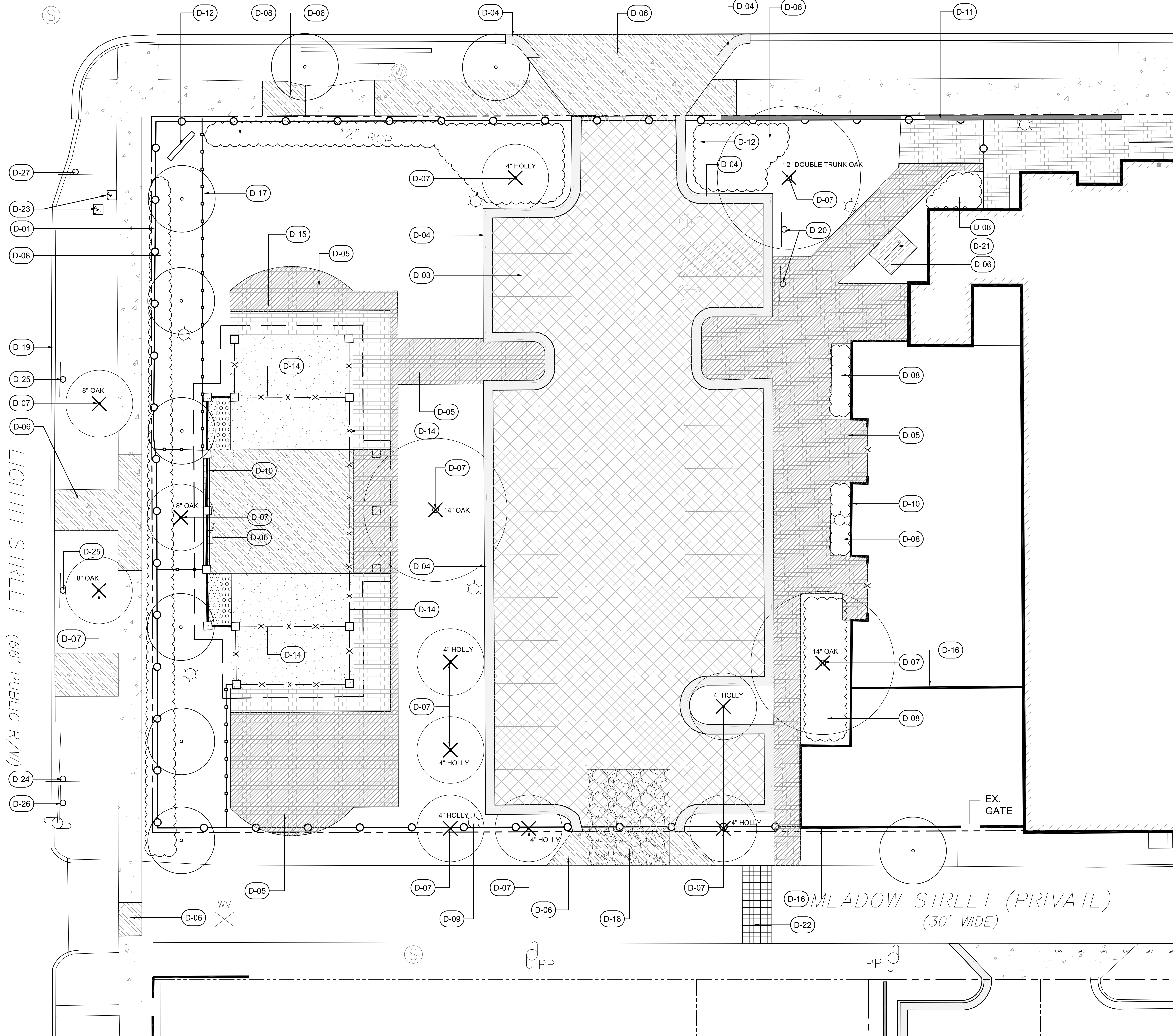
Planning: _____

Traffic: _____

Fire: _____

GENERAL NOTES

MARKET STREET (99' PUBLIC R/W)



DEMOLITION SCHEDULE

CODE	DESCRIPTION	QTY	DETAIL
D-01	Install construction fencing as shown.	476 lf	
D-02	Remove existing pavers in their entirety	165 sf	
D-03	Remove asphalt paving to limits shown.	6,980 sf	
D-04	Remove concrete curb and gutter to limits shown or nearest joint.	501 lf	
D-05	Remove brick paving to limits shown. Mortared header course surrounding pavillion to remain.	3,681 sf	
D-06	Remove concrete paving to limits shown.	2,440 sf	
D-07	Remove tree in its entirety. Grind stump to 8" below subgrade.		
D-08	Remove shrubs in their entirety as shown. Remove stumps.		
D-09	Remove light pole. Contractor to protect lights not noted for removal throughout construction.		
D-10	Remove block wall and metal fencing to limits shown. Contractor to re-stucco face of existing columns to remain and paint to match existing.	270 lf	
D-11	Contractor to protect stone wall.		
D-12	Remove Museum sign and return to Owner.		
D-14	Remove metal fencing between columns and reinstall per Layout Plan, Sheet L200. Any unused fencing to be disposed of in a legal and responsible manner.	91 lf	
D-15	Existing stone tables to be removed by owner.		
D-16	Existing wall around mechanical yard to remain and be protected throughout construction. Contractor to repair stucco at corner following wall removal and paint to match existing.		
D-17	Install tree protection fencing as shown.	121 lf	
D-18	Construction entrance.		3/D101
D-19	Remove granite curb and reuse per Layout Sheet L200	104 lf	
D-20	Remove Handicap Signs and relocate per Layout Plan L200.		
D-21	Remove Bike Rack and return to owner.		
D-22	Contractor to remove existing pavers to limits shown and return to owner.	98 sf	
D-23	(2) 2' x 2' Concrete pads to be removed.	8 sf	
D-24	Museum parking sign to be removed and returned to owner.		
D-25	No parking sign to be removed and relocated per L200.		
D-26	No parking sign to remain		
D-27	Stop sign to remain		
D-29	Remove existing modular block wall to limits shown.	56 lf	

- LEGEND:**
- Remove Existing Asphalt
 - Remove Existing Concrete Paving
 - Remove Existing Brick Paving
 - Remove Existing Curb and Gutter
 - Construction Fencing
 - Tree Protection Fencing
 - Inlet Protection
 - Existing Light to be Protected throughout construction

Public Services • Approval Block

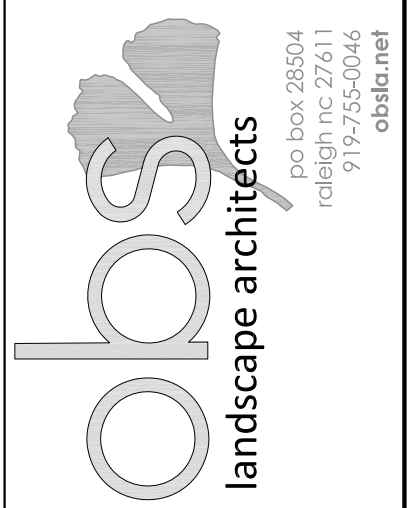
 Date: _____ Name: _____

 Planning: _____

 Traffic: _____

 Fire: _____

DEMOLITION PLAN



CONSULTANTS:

SEALS:

Cape Fear Museum
Outdoor Learning Environment
 NEW HANOVER COUNTY
 814 Market Street, Wilmington, NC 28401

DATE: 11/19/2014

DESIGNER: JAB

CHECKED BY: BHS

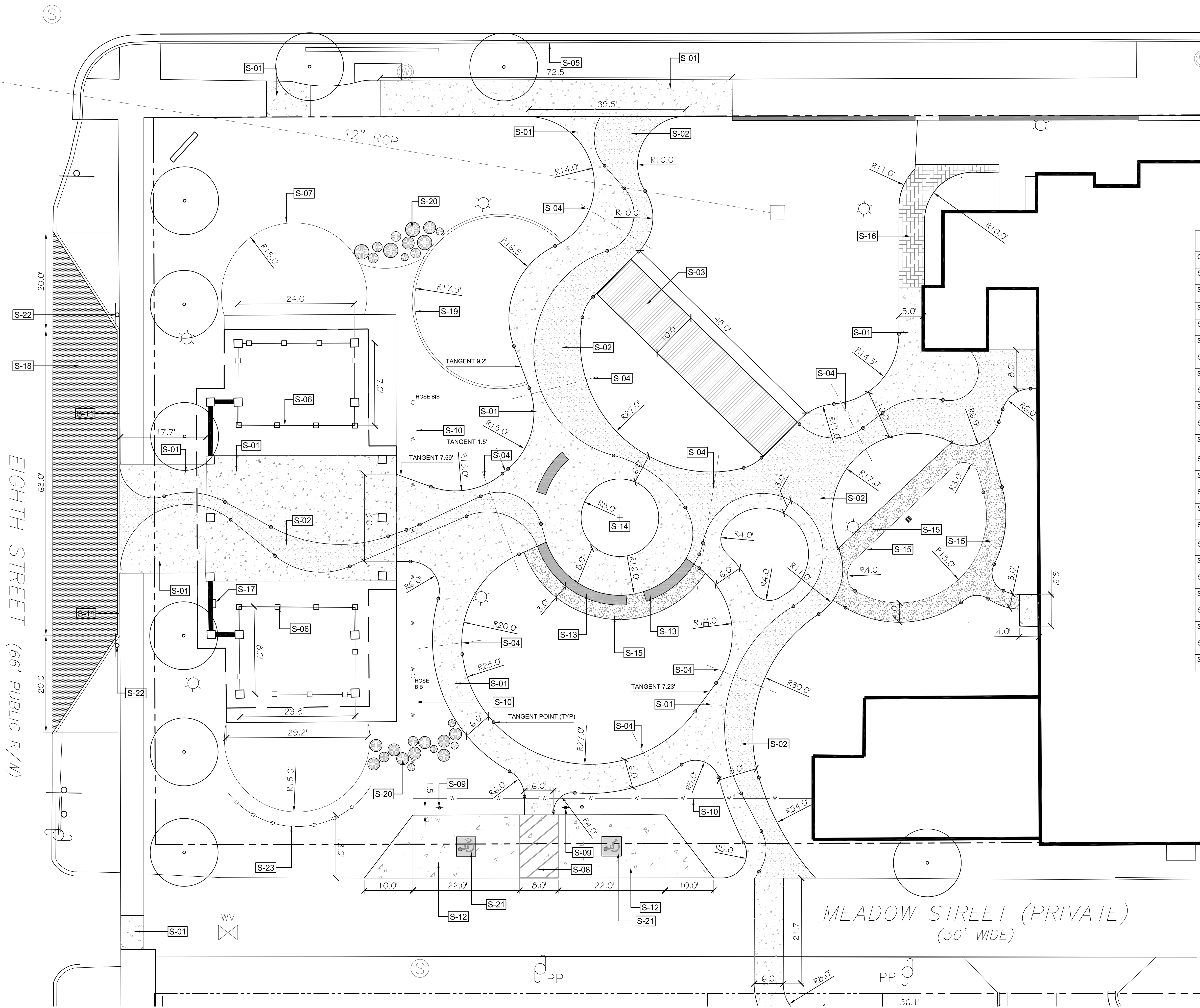
REVISIONS

NO.	DATE

SCALES
 HORIZ: 1"=10'-0"
 DESIGN DEVELOPMENT

SHEET NO.
L100

MARKET STREET (99' PUBLIC R/W)



GENERAL LAYOUT NOTES:

1. Drawings based on survey provided by Michael Underwood and Associates, PA. Landscape Architect assumes no responsibility for the accuracy of the survey.
2. Any discrepancies in layout should be brought to the attention of the Landscape Architect immediately.
3. Written dimensions supercede scaled dimensions. Do not scale drawings.
4. Layout to be staked by a surveyor licensed in North Carolina.

SITE IMPROVEMENT SCHEDULE

CODE	DESCRIPTION	QTY	DETAIL
S-01	Concrete paving.	5,091 sf	/
S-02	River paving. Refer to sheet L201 for detailed layout information	2,154 sf	
S-03	Wood boardwalk.	48 lf	9/D100
S-04	2" PVC conduit.	146 lf	
S-05	30" Curb and Gutter.	72 lf	1/D101
S-06	8" Metal fencing to be relocated as shown.	121 lf	
S-07	Steel Landscape Edging	369 lf	
S-08	Thermoplastic Parking lot striping.	78 lf	
S-09	Handicap Parking Sign, relocated as shown.		
S-10	1" PVC water line with 2 hose bibs	170 lf	
S-11	Reuse existing granite curb to layout bus drop loop as shown. Contractor to provide new granite curb as needed.	111 lf	5/D100
S-12	Heavy Duty Concrete Paving	805 sf	6/D100
S-13	Concrete Seat wall	44 lf	7/D100
S-14	Compass Rose Medallion		
S-15	Oyster shell pathway	560 sf	4/D100
S-16	Brick paving. Contractor to reuse bricks that were removed in this area and to match the existing pattern and installation.	168 sf	2/D100
S-17	Relocated Electrical Panel		
S-18	Asphalt paving	1,112 sf	5/D100
S-19	Concrete edge	76 lf	8/D100
S-20	Tree cross-sections		
S-21	Handicap Pavement Symbol		3/D100
S-22	Relocated No Parking Sign		
S-23	Proposed fence to match existing	34 lf	
S-24	Bike Racks located as shown on L500	3	

LEGEND:

- Concrete Paving
- River Paving
- Oyster Shell Paving
- Asphalt Paving
- Existing Light to be Protected throughout construction
- Tangent Point

Public Services • Approval Block

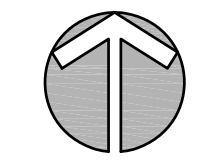
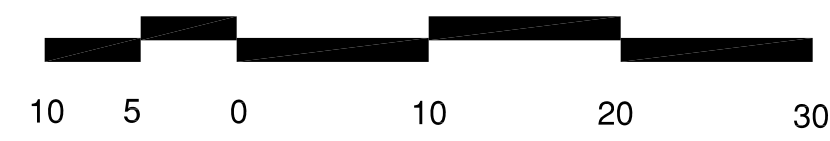
 Date: _____ Name: _____

 Planning: _____

 Traffic: _____

 Fire: _____

LAYOUT PLAN



CONSULTANTS:

SEALS:

Cape Fear Museum
Outdoor Learning Environment
 NEW HANOVER COUNTY
 814 Market Street, Wilmington, NC 28401

DATE: 11/19/2014

DESIGNER: LED

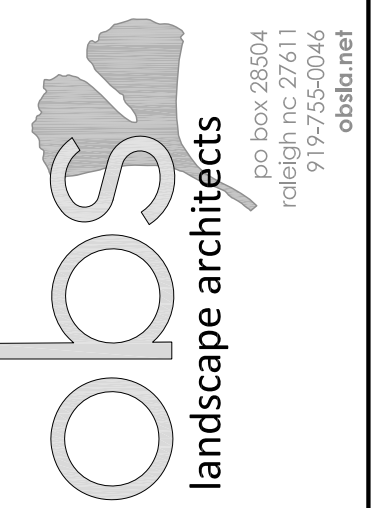
CHECKED BY: BHS

REVISIONS

NO.	DATE

SCALES
 HORIZ: 1"=10'-0"
 DESIGN DEVELOPMENT

SHEET NO.
L200



MARKET STREET (99' PUBLIC R/W)







EIGHTH STREET (66' PUBLIC R/W)


MEADOW STREET (PRIVATE)
(30' WIDE)

GENERAL LAYOUT NOTES:

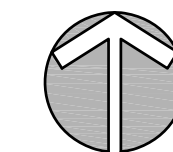
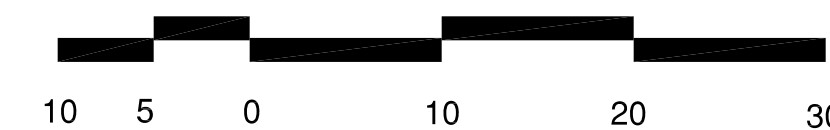
1. Drawings based on survey provided by Michael Underwood and Associates, PA. Landscape Architect assumes no responsibility for the accuracy of the survey.
2. Any discrepancies in layout should be brought to the attention of the Landscape Architect immediately.
3. Written dimensions supercede scaled dimensions. Do not scale drawings.

LEGEND:

-  Concrete Paving
-  River Paving
-  Oyster Shell Paving
-  Asphalt Paving
-  Existing Light to be Protected throughout construction
-  Tangent Point


 Public Services • Approval Block
 Date: _____ Name: _____
 Planning: _____
 Traffic: _____
 Fire: _____

RIVER PAVING LAYOUT PLAN



CONSULTANTS:

SEALS:

Cape Fear Museum
Outdoor Learning Environment
 NEW HANOVER COUNTY
 814 Market Street, Wilmington, NC 28401

DATE: 11/19/2014

DESIGNER: LED

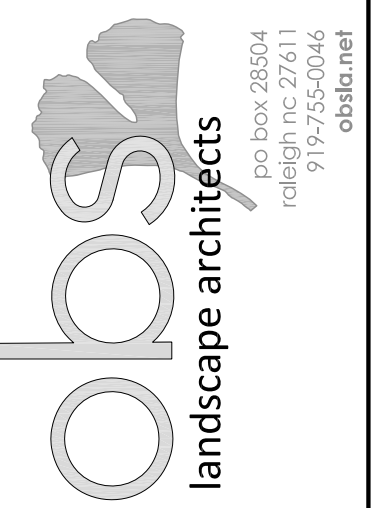
CHECKED BY: BHS

REVISIONS

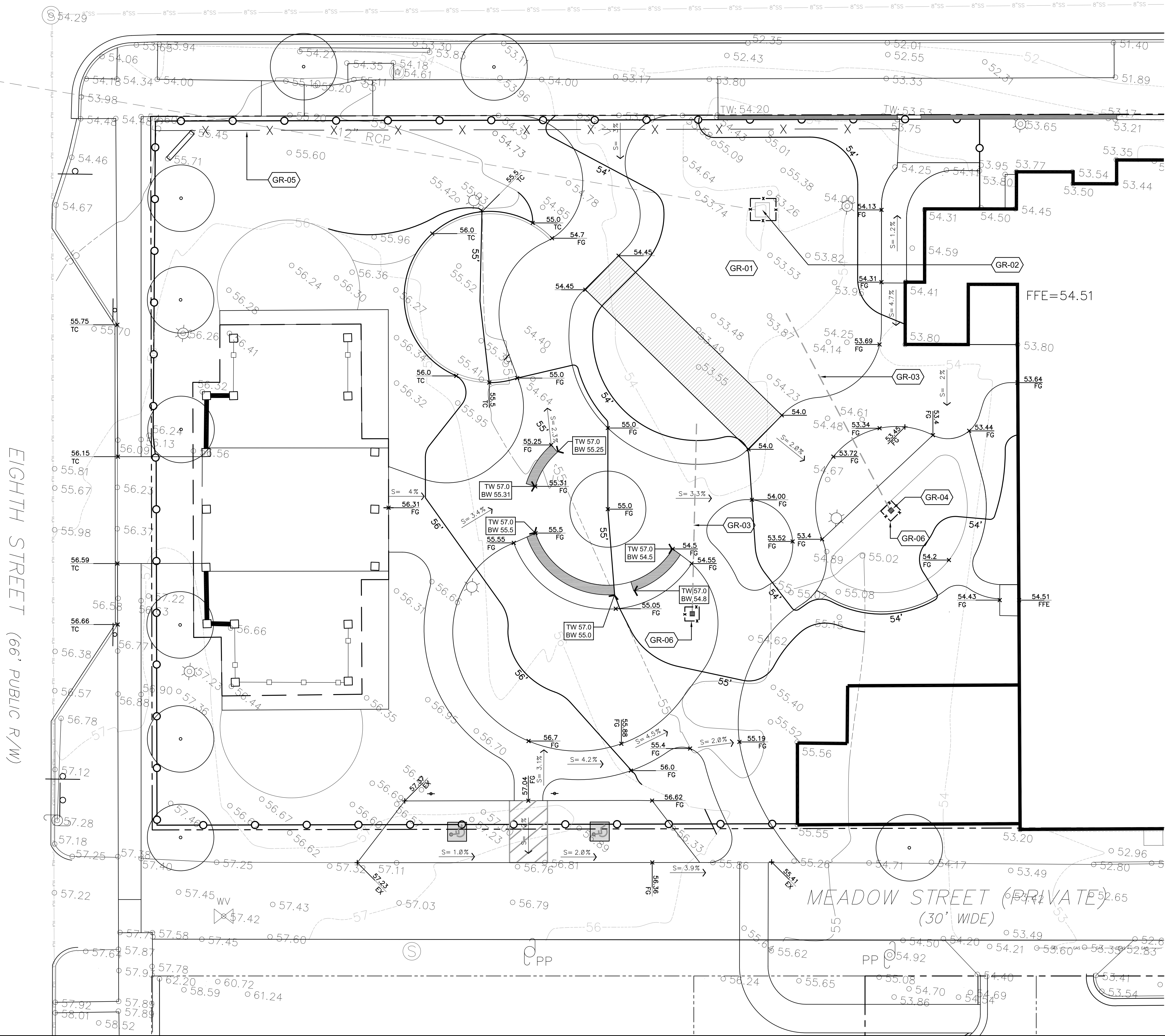
NO.	DATE

SCALES
 HORIZ: 1"=10'-0"
 DESIGN DEVELOPMENT

SHEET NO.
L201



MARKET STREET (99' PUBLIC R/W)



GENERAL GRADING NOTES:

1. Construction fencing and tree protection fencing must be in place prior to any clearing, demolition, and disturbance or issuance of grading permit and maintained throughout construction. Landscape Architect to verify fence location prior to construction.
2. Contractor to insure positive drainage away from buildings.
3. All slopes to be consistent and uniform.
4. Bottom of wall elevations (BW) refer to finish grade not top or bottom of wall footing.
5. Spot elevations reference final surface elevations.
6. Subgrade elevations shall reflect slope and grade of final surface elevations.
7. All proposed pavement shall meet existing pavement, flush.
8. All walks to exhibit a 2% cross slope and not exceed 5% slope in the direction of pedestrian movement unless otherwise noted.
9. The contractor shall install and maintain sufficient erosion and sediment control measures as needed to keep sediment within the project work area. Any sediment deposited outside the project work area, including tracking out, shall be immediately cleaned up by sweeping and removing the material by hand. Accumulated sediment on hard surfaces shall not be washed into storm drains, gutters or receiving waters. All installed erosion and sediment control measures shall be removed once the project area is fully stabilized.

GR Grading SCHEDULE

CODE	DESCRIPTION	QTY	DETAIL
GR-01	Rain Garden Soil Profile		2/D101
GR-02	Contractor to raise rim elevation of existing inlet. Proposed Rim: 53.7' Existing Rim: 52.88' Existing Invert: 51.39'	1	
GR-03	4" PVC pipe at .5% slope	86 lf	
GR-04	12" HDPE square yard inlet. RIM: 53.0' INVERT: 52.0'	2	4/D101
GR-05	Sediment Fence	156 lf	
GR-06	Inlet Protection		5/D101

NEWLY CONSTRUCTED IMPERVIOUS SURFACE: 8,400 SF

LEGEND:

- TC Top of Curb
- BC Bottom of Curb
- TW Top of Wall
- BW Bottom of Wall
- FG Finished Grade
- 54.07 Proposed Spot Elevation
- 54.00 Existing Spot Elevation
- Proposed Contour
- Existing Contour
- X - Silt Fence
- ☼ Existing Light Pole to remain
- Construction Fencing

Public Services • Engineering Division

 APPROVED DRAINAGE PLAN

 Date: _____ Permit # _____

 Signed: _____

Public Services • Approval Block

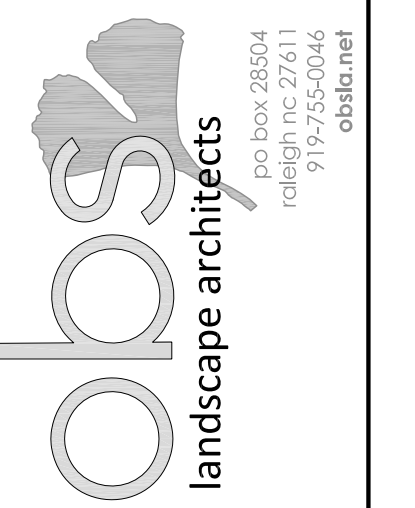
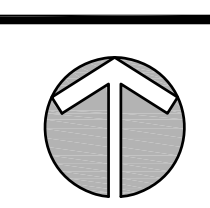
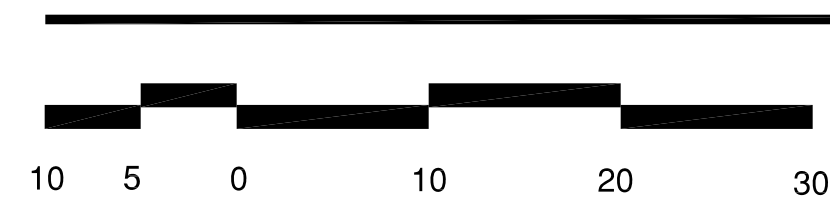
 Date: _____ Name: _____

 Planning: _____

 Traffic: _____

 Fire: _____

GRADING PLAN



CONSULTANTS:

SEALS:

Cape Fear Museum
Outdoor Learning Environment
 NEW HANOVER COUNTY
 814 Market Street, Wilmington, NC 28401

DATE: 11/19/2014

DESIGNER: LED

CHECKED BY: BHS

REVISIONS	
NO.	DATE

SCALES
 HORIZ: 1"=10'-0"
 DESIGN DEVELOPMENT

SHEET NO.
L300

MARKET STREET (99' PUBLIC R/W)

EIGHTH STREET (66' PUBLIC R/W)

MEADOW STREET (PRIVATE)
(30' WIDE)


PLANT SCHEDULE OLE

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	REMARKS
AS	3	Alnus serulata / Tag Alder	B & B	2"Cal		Single Straight Leader
IV	2	Ilex vomitoria / Yaupon Holly	B & B		7'	Tree Form, Uniform Shape
LW	1	Lagerstroemia x 'Natchez' / White Crape Myrtle Multi-Trunk	15 gal		10'-12" H X 5'-6" W	Multi-Trunk, Full and Uniform
NS	1	Nyssa sylvatica / Black Gum	B & B	3"Cal		Single Straight Leader
PP	8	Pinus palustris / Longleaf Pine	B & B		12'	Single Straight Leader, Contractor to install (1) 12' tall tree, (3) 8' tall trees
QW	3	Quercus laevis / Turkey Oak	B & B	4.5"Cal		Full Uniform Canopy, Single Straight Leader
TA	1	Taxodium ascendens / Pond Cypress	B & B	3"Cal		Single Straight Leader, Uniform Canopy
TA2	1	Taxodium distichum 'Autumn Gold' / Autumn Gold Bald Cypress	B & B	3"Cal		Single Straight Leader, Uniform Canopy

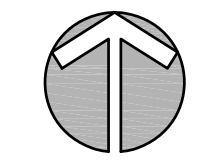
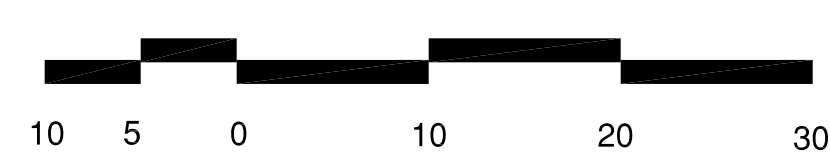
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	HEIGHT	SPACING	REMARKS
CB	3	Calliopsis americana / American Beautyberry	3 gal		96" o.c.	Fully Rooted, Uniform Shape
CK	5	Camellia sasanqua 'Kanjiro' / Rose Pink Camellia	7 gal		96" o.c.	Uniform shape, Fully Rooted
FG	30	Fothergilla gardenii / Dwarf Fothergilla	5 gal		60" o.c.	
LB	6	Loropetalum chinense rubrum 'Ever Red' / Ever Red Loropetalum	5 gal		72" o.c.	Fully Rooted, Uniform Shape
RA	16	Rhododendron x 'Autumn Embers' / Autumn Embers Encore Azalea	5 gal		48" o.c.	Uniform Shape, Fully Rooted
VS	16	Vaccinium corymbosum 'Sunshine Blue' / Highbush Blueberry	3 gal	16" Min	48" o.c.	Fully Rooted
VC	58	Vaccinium crassifolium 'Wells Delight' / Creeping Blueberry	3 gal		48" o.c.	Uniform Shape, Fully Rooted

SHRUB AREAS	QTY	BOTANICAL NAME / COMMON NAME	CONT	FIELD2	FIELD3	SPACING	REMARKS
GS	9	Gelsemium sempervirens / Jessamine	3 gal			36" o.c.	Fully Rooted, Contractor to start to train to climb fence
LM	53	Lantana camara 'Miss Huff' / Lantana	1 gal			12" o.c.	Fully Rooted

GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	CONT	FIELD2	FIELD3	SPACING	REMARKS
AB	132	Ammophila brevifluta / American Beachgrass	4"pot			12" o.c.	Fully Rooted
AS2	895 sf	Aristida stricta / Wiregrass	seed				
AI	177	Asclepias incarnata / Swamp Milkweed	1 gal			18" o.c.	Fully Rooted
GP	455	Gaillardia pulchella / Firewheel / Blanket Flower	1 gal			12" o.c.	
JE	847	Juncus effusus / Soft Rush	1 gal			12" o.c.	Fully Rooted
JT	677 sf	Juncus tenuis / Path Rush	2" pot				Fully Rooted
LM2	140	Liriope muscari / Lily Turf	1 gal			18" o.c.	Fully Rooted
LO	123	Lysoptidum obscurum / Ground Pine	1 gal			24" o.c.	Fully Rooted
OJ	109	Oxyphogon japonicus / Mondo Grass	1 gal			12" o.c.	Fully Rooted
PP2	351	Phlox paniculata / Garden Phlox	1 gal			12" o.c.	Fully Rooted
SP	141	Schizachyrium scoparium 'Prairie Blues' / Little Bluestem Grass	4"pot			12" o.c.	Fully Rooted
SB	291	Spartina bakeri / Sand Cord Grass	1 gal			18" o.c.	Fully Rooted
TO	173	Tradescantia ohiensis / Blue Jacket / Spiderwort	1 gal			24" o.c.	


 Public Services • Approval Block
 Date: _____ Name: _____
 Planning: _____
 Traffic: _____
 Fire: _____

PLANTING PLAN



CONSULTANTS:

SEALS:

Cape Fear Museum
Outdoor Learning Environment
 NEW HANOVER COUNTY
 814 Market Street, Wilmington, NC 28401

DATE: 11/19/2014

DESIGNER: LED

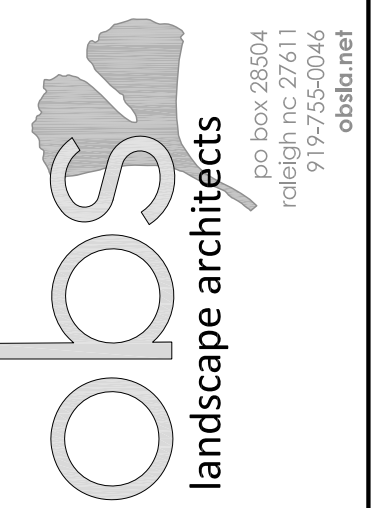
CHECKED BY: BHS

REVISIONS

NO.	DATE

SCALES
 HORIZ: 1"=10'-0"
 DESIGN DEVELOPMENT

SHEET NO.
L400



CONSULTANTS:

SEALS:

Cape Fear Museum
Outdoor Learning Environment
 NEW HANOVER COUNTY
 814 Market Street, Wilmington, NC 28401

DATE: 11/19/2014

DESIGNER: LED

CHECKED BY: BHS

REVISIONS

NO.	DATE

SCALES
 HORIZ: 1"=10'-0"

DESIGN DEVELOPMENT

SHEET NO.
L500

GENERAL PLANTING NOTES:

- All plant materials to comply with American Standard for Nursery Stock ANSI Z60.
- Substitutions of plant materials specified can only occur with prior approval by Landscape Architect.
- Establish plant bed configuration. Landscape Architect to approve bed layout in field.
- Perform soil test in all new plant beds and amend soils as recommended.
- Install plants and mulch plant beds with 3" shredded hardwood mulch.
- All trees to be installed between October 1 and April 30.
- Contractor to guarantee plant materials for a one year period following substantial completion.
- Areas damaged by activities of contractor shall be re-established to pre-disturbance condition at no additional cost to the owner.
- Use herbicides, pesticides, and fertilizer in a manner consistent with the federal insecticide, fungicide, and rodenticide act and in accordance with label restrictions.
- Contractor shall protect any existing planting not involved in new construction.
- Contractor shall insure that all plant material is free of fire ants prior to installation.
- Landscape Architect / Owner shall approve placement of trees prior to planting.
- Weeping Yaupon Holly and Yucca's at the corner of Market Street and Ninth Street to be protected throughout construction. Protection to be approved in the field by Landscape Architect prior to demolition of wall and removal of any existing plant material.

DEMOLITION SCHEDULE

CODE	DESCRIPTION	QTY	DETAIL
D-02	Remove existing pavers in their entirety	165 sf	
D-29	Remove existing modular block wall to limits shown.	56 lf	

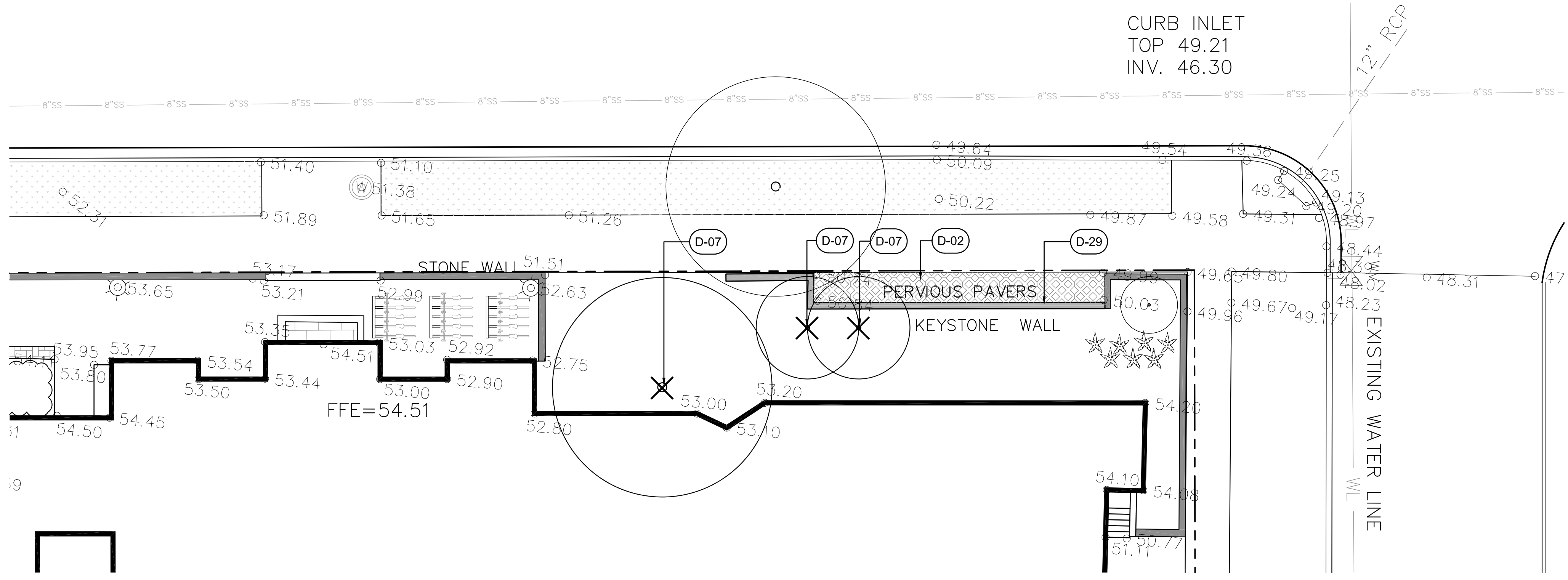
PLANT SCHEDULE MARKET STREET FACADE

SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	HEIGHT	SPACING	REMARKS
LL	13	Lyonia lucida / Shining Fetterbush	3 gal	18" Min	60" o.c.	Uniform Shape, Fully Rooted
VC	27	Vaccinium crassifolium 'Wells Delight' / Creeping Blueberry	3 gal		48" o.c.	Uniform Shape, Fully Rooted

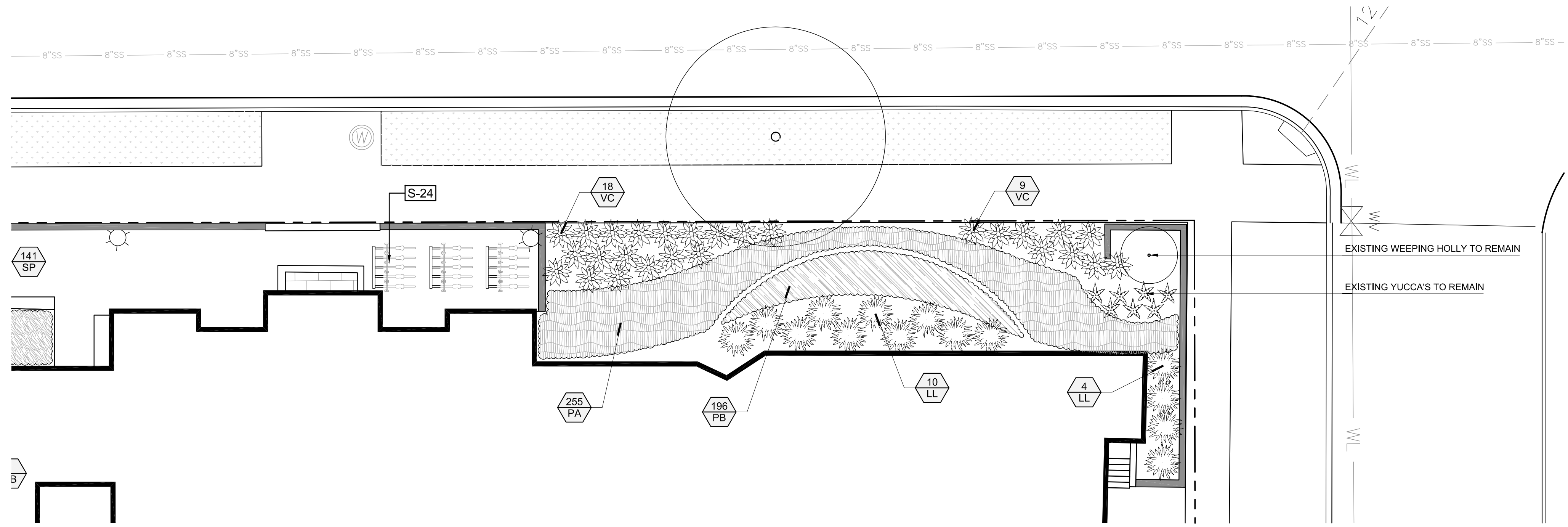
GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	CONT	FIELD2	SPACING	REMARKS
PB	196	Phlox divaricata 'Blue Moon' / Blue Moon Phlox	4" pot		12" o.c.	Fully Rooted
PA	255	Polystichum acrostichoides / Christmas Fern	1 gal		18" o.c.	Fully Rooted

SITE IMPROVEMENT SCHEDULE

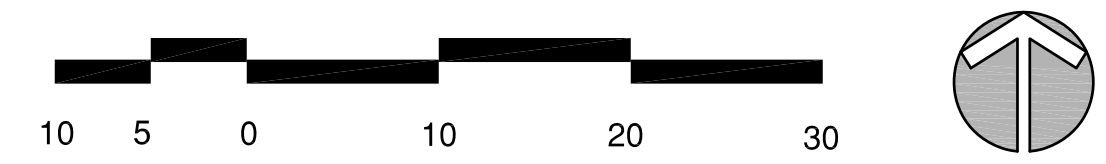
CODE	DESCRIPTION	QTY	DETAIL
S-24	Bike Racks located as shown on L500	3	




EX. CONDITIONS / DEMOLITION

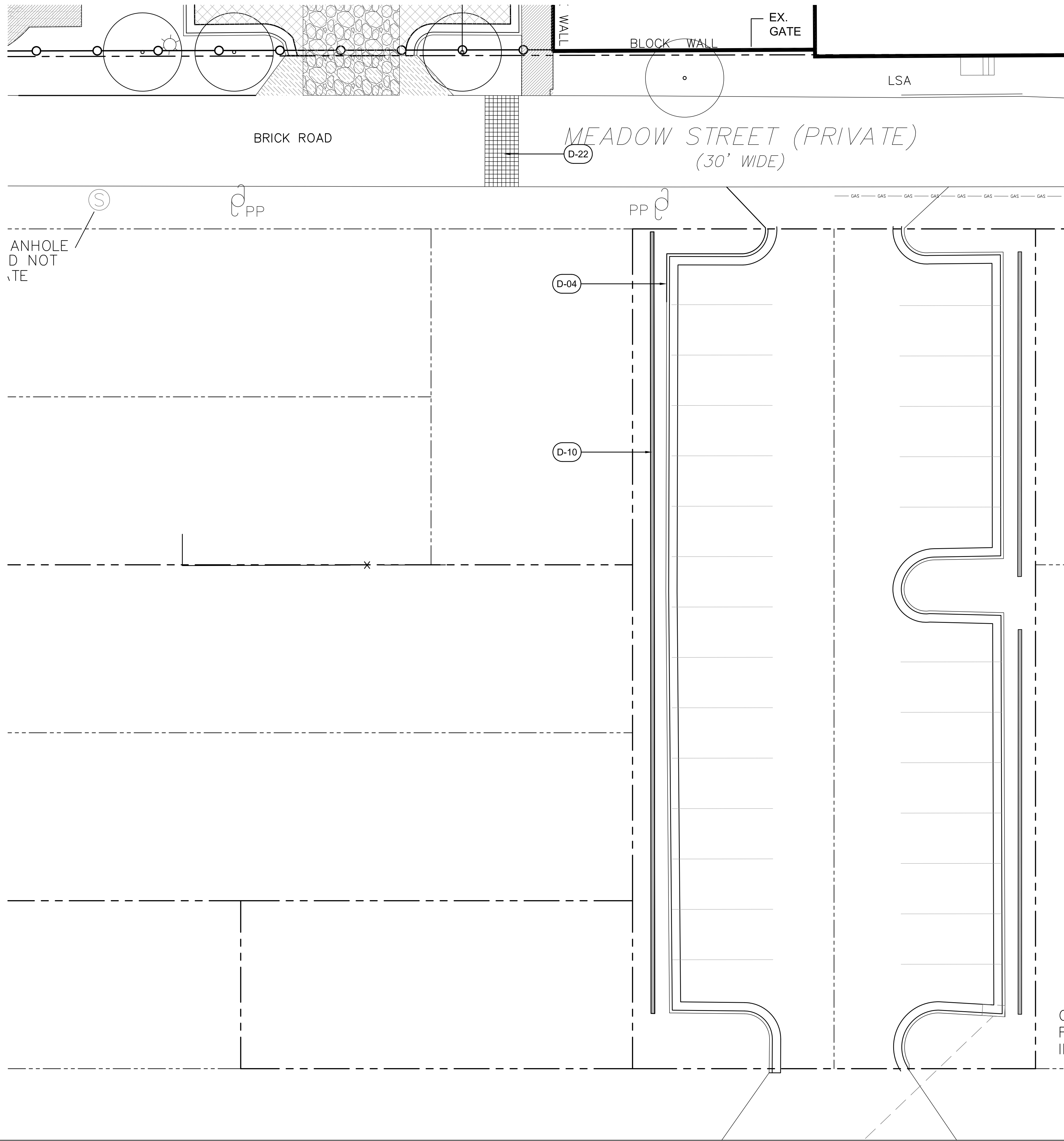


LAYOUT / PLANTING PLAN

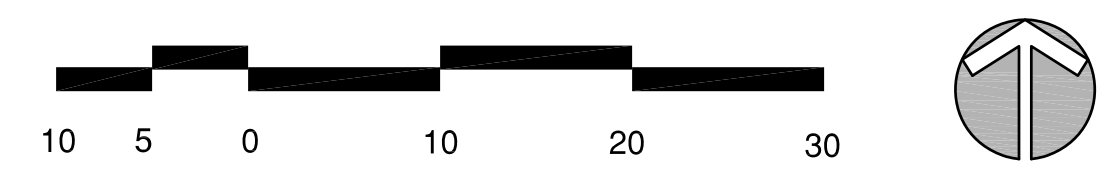


MARKET STREET FACADE

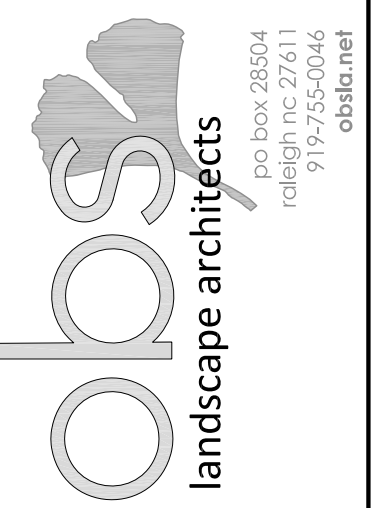

 Public Services • Approval Block
 Date: _____ Name: _____
 Planning: _____
 Traffic: _____
 Fire: _____



EX. CONDITIONS / DEMOLITION



DEMOLITION SCHEDULE			
CODE	DESCRIPTION	QTY	DETAIL
D-04	Remove concrete curb and gutter to limits shown or nearest joint.	39 lf	
D-10	Remove block wall and metal fencing to limits shown. Contractor to re-stucco face of existing columns to remain and paint to match existing.	150 lf	
D-22	Contractor to remove existing pavers to limits shown and return to owner.	98 sf	



CONSULTANTS:

SEALS:

Cape Fear Museum
Outdoor Learning Environment
 NEW HANOVER COUNTY
 814 Market Street, Wilmington, NC 28401

DATE: 11/19/2014

DESIGNER: LED

CHECKED BY: BHS

REVISIONS

NO.	DATE

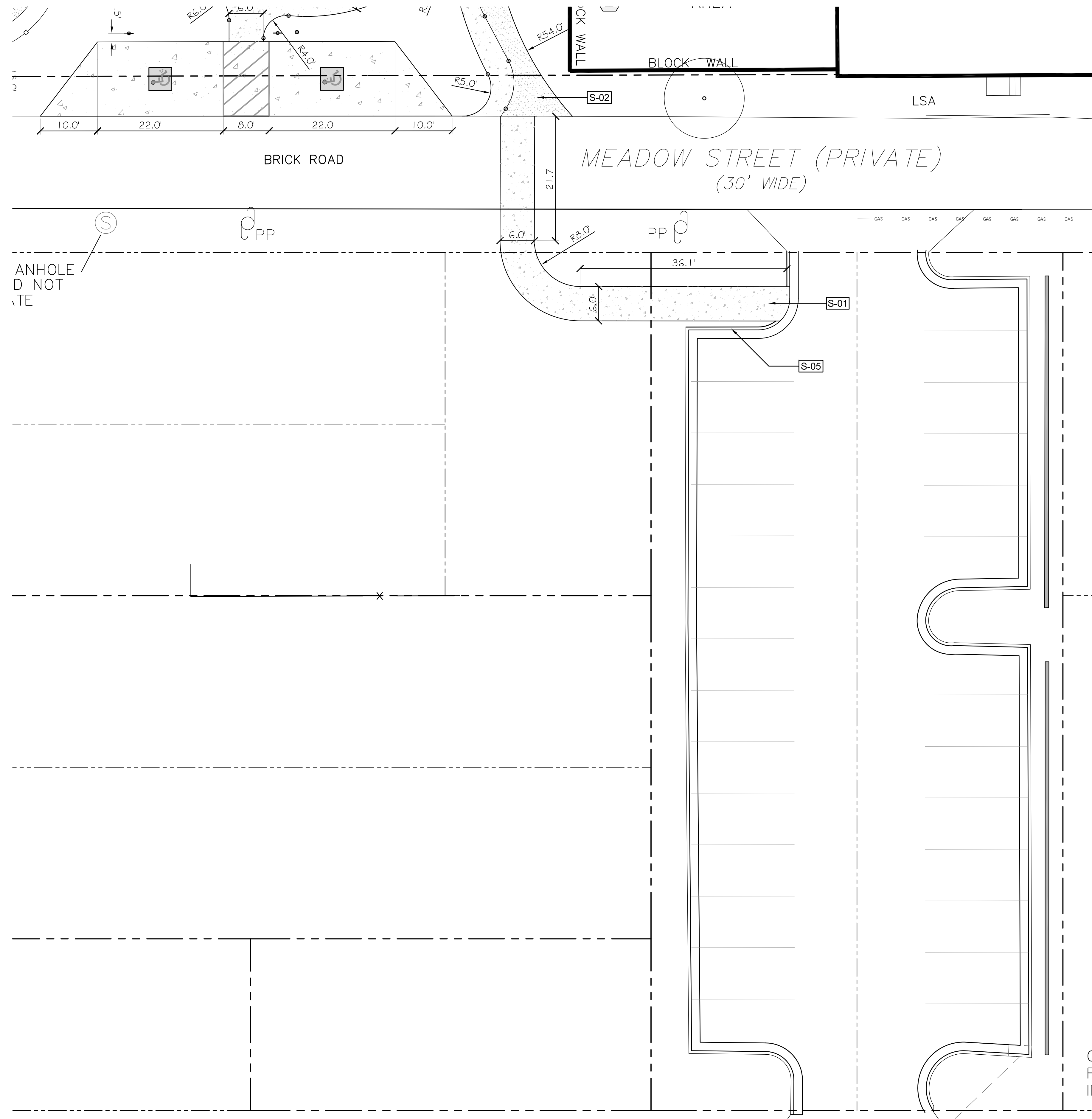
SCALES
 HORIZ: 1"=10'-0"

DESIGN DEVELOPMENT

SHEET NO.
L600

Public Services • Approval Block
 Date: _____ Name: _____
 Planning: _____
 Traffic: _____
 Fire: _____

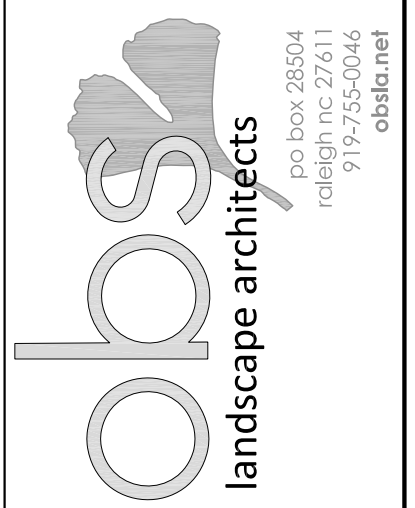
ADJACENT PARKING LOT



LAYOUT / PLANTING PLAN

10 5 0 10 20 30

SITE IMPROVEMENT SCHEDULE			
CODE	DESCRIPTION	QTY	DETAIL
S-01	Concrete paving.	452 sf	/
S-05	30" Curb and Gutter.	22 lf	1/D101



CONSULTANTS:

SEALS:

Cape Fear Museum
Outdoor Learning Environment
 NEW HANOVER COUNTY
 814 Market Street, Wilmington, NC 28401

DATE: 11/19/2014

DESIGNER: LED

CHECKED BY: BHS

REVISIONS

NO.	DATE

SCALES

HORIZ: 1"=10'-0"

DESIGN DEVELOPMENT

SHEET NO.

L601

ADJACENT PARKING LOT

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Approval Block
 Date: _____ Name: _____
 Planning: _____
 Traffic: _____
 Fire: _____

NOTES:

- Survey provided by Michael Underwood and Associates, PA, dated May 14, 2014. Landscape Architect assumes no responsibility for the accuracy of the survey.

LAND USE / ADJACENT PROPERTIES

- Across Meadow Street - Residential Vacant Parking
- Across Eighth Street - Residential Commercial
- Across Ninth Street - Commercial
- Across Market Street - Institutional (Fire Station)

CONSULTANTS:

SEALS:

Cape Fear Museum
Outdoor Learning Environment
NEW HANOVER COUNTY
814 Market Street, Wilmington, NC 28401

DATE: 11/19/2014

DESIGNER: LED

CHECKED BY: BHS

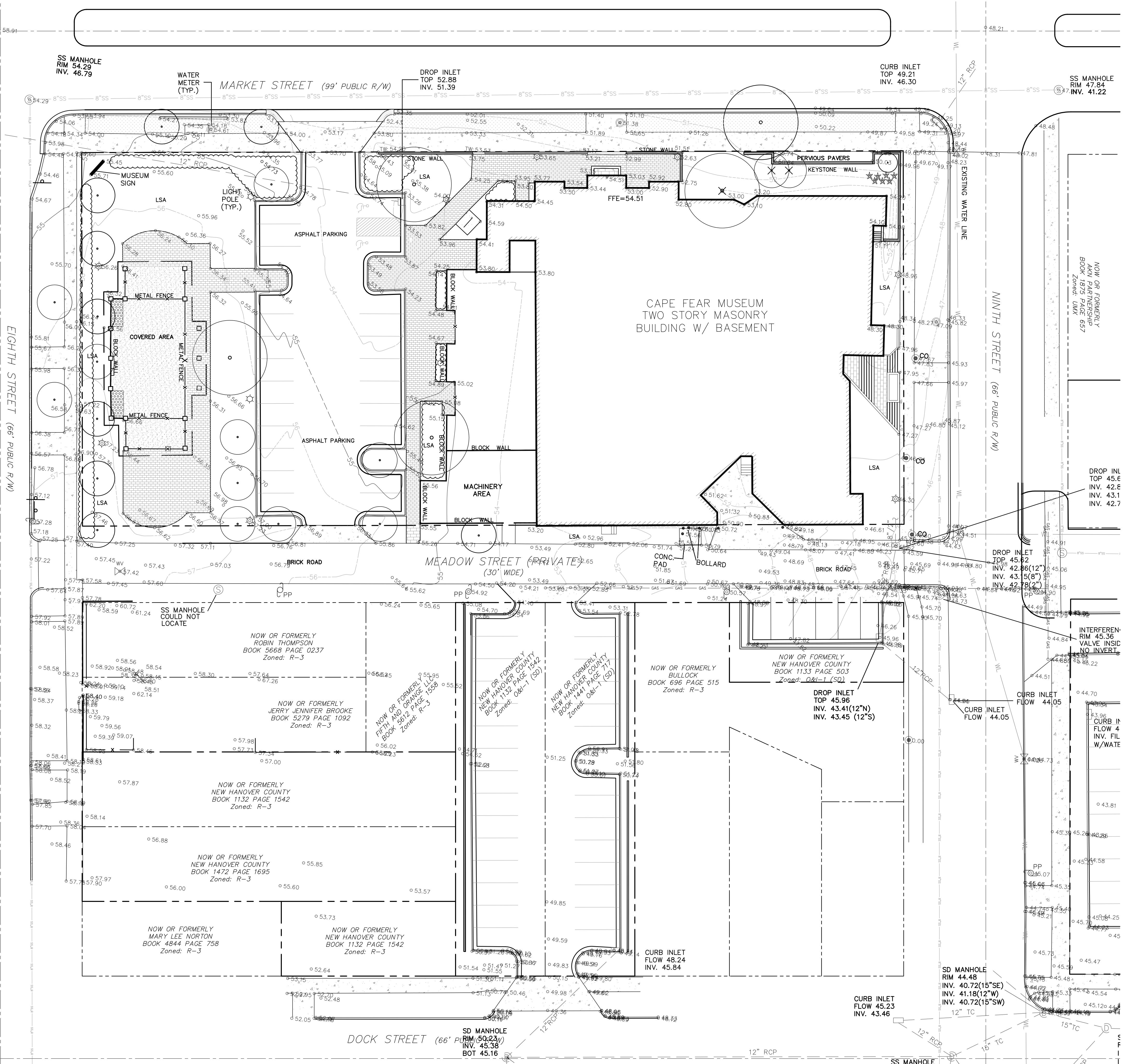
REVISIONS

NO.	DATE

SCALES
HORIZ: 1"=10'-0"

DESIGN DEVELOPMENT

SHEET NO.
S100



WILMINGTON
NORTH CAROLINA
Public Services • Approval Block

Date: _____ Name: _____

Planning: _____

Traffic: _____

Fire: _____

SURVEY

NOW OR FORMERLY
DOUGLAS DIXON
BOOK 3227 PAGE 0294

EIGHTH STREET (66' PUBLIC R/W)

MEADOW STREET (PRIVATE) (30' WIDE)

NINTH STREET (66' PUBLIC R/W)

DOCK STREET (66' PUBLIC R/W)

CAPE FEAR MUSEUM
TWO STORY MASONRY
BUILDING W/ BASEMENT

SS MANHOLE
RIM 54.29
INV. 46.78

WATER
METER
(TYP.)

DROP INLET
TOP 52.88
INV. 51.39

CURB INLET
TOP 49.21
INV. 46.30

SS MANHOLE
RIM 47.84
INV. 41.22

DROP INL
TOP 45.6
INV. 42.6
INV. 43.1
INV. 42.7

DROP INLET
TOP 45.62
INV. 42.86(12")
INV. 43.5(8")
INV. 42.78(2")

DROP INLET
TOP 45.96
INV. 43.41(12"N)
INV. 43.45 (12"S)

CURB INLET
FLOW 44.05

CURB INLET
FLOW 44.05

CURB INLET
FLOW 48.24
INV. 45.84

SD MANHOLE
RIM 44.48
INV. 40.72(15"SE)
INV. 41.18(12"W)
INV. 40.72(15"SW)

SD MANHOLE
RIM 45.55

SD MANHOLE
RIM 44.48
INV. 40.72(15"SE)
INV. 41.18(12"W)
INV. 40.72(15"SW)

SD MANHOLE
RIM 44.48
INV. 40.72(15"SE)
INV. 41.18(12"W)
INV. 40.72(15"SW)

SD MANHOLE
RIM 44.48
INV. 40.72(15"SE)
INV. 41.18(12"W)
INV. 40.72(15"SW)

SD MANHOLE
RIM 44.48
INV. 40.72(15"SE)
INV. 41.18(12"W)
INV. 40.72(15"SW)

SD MANHOLE
RIM 44.48
INV. 40.72(15"SE)
INV. 41.18(12"W)
INV. 40.72(15"SW)

SD MANHOLE
RIM 44.48
INV. 40.72(15"SE)
INV. 41.18(12"W)
INV. 40.72(15"SW)

SD MANHOLE
RIM 44.48
INV. 40.72(15"SE)
INV. 41.18(12"W)
INV. 40.72(15"SW)

SD MANHOLE
RIM 44.48
INV. 40.72(15"SE)
INV. 41.18(12"W)
INV. 40.72(15"SW)